

ORDINANCE NO. 2339

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, AMENDING CHAPTERS 2 AND 10 OF THE LAND DEVELOPMENT CODE TO STREAMLINE THE CODE, CLARIFY REGULATIONS FOR THE LAKE POINTE REDEVELOPMENT ZONING (LPR) DISTRICT, AND ADD A NEW PERMITTED LAND USE FOR STANDARD NONRESIDENTIAL ZONING DISTRICTS AND THE LPR DISTRICT.

WHEREAS, the Planning and Zoning Commission has recommended that the City's Land Development Code be amended to streamline City zoning regulations, provide clarification on regulations for Middle Housing Developments in the Lake Pointe Redevelopment (LPR) District, and add "Wine Bar" as a new permitted land use for standard nonresidential zoning districts and the LPR District; and

WHEREAS, the Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such changes; and

WHEREAS, the City Council finds that the proposed amendments comply with the City's comprehensive plan and now deem it appropriate to make such changes; **NOW, THEREFORE;**

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

Section 1. That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

Section 2. That Chapter 2, Article I of the Land Development Code is revised by amending Section 2-21 to read as follows:

Sec. 2-21. - Review Process.

The following procedures apply to Conditional Use Permits (CUP):

1. *Commission Hearing and Report.* The Commission will hold a public hearing on the proposed CUP, for which notice of the time and place of the hearing has been published in the official newspaper of general circulation in the City before the 15th day before the date of the public hearing. Notice must be given as required by law to owners of any Premises located within 200 feet of the land subject to the CUP. After the public hearing, the Commission will make a recommendation to the Council for denial or approval of the request. A tie vote on a request for a CUP is deemed to be the Commission's recommendation that the requested change be denied. If the Commission recommends denial, the application may not be submitted to the Council for consideration unless the applicant files a written request with the Director within 30 days of the date of denial asking that the Council consider the request.

2. *City Council Hearing and Action.* After receiving a recommendation from the Commission, the City Council will hold a public hearing on the CUP request, for which notice of the time and place of the hearing has been published in the official newspaper or a newspaper of general circulation in the City before the 15th day before the date of the public hearing, or as provided by state law. Notice must be given to owners of any premises located within 200 feet of the land subject to the CUP. After the close of the public hearing, the City Council may approve or deny the request, return it to the Commission for further consideration, or take whatever other action the Council deems appropriate. The affirmative vote of at least $\frac{3}{4}$ of all members of the Council is required to:
 - a. Overrule the Commission's recommendation that a proposed CUP be denied;
or
 - b. Approve a Conditional Use Permit, if the City receives, as provided by state law, a written and signed petition from adjoining landowners protesting the change.
3. *Joint Hearings.* The City Council may hold a joint public hearing with the Commission on a CUP request as provided for by state law. In case of a joint hearing, the City Council may not act on the request until it receives the report of the Commission.
4. *Reconsideration.* An application for a CUP that is denied by the Council, or which is withdrawn by an applicant after the Commission makes a report recommending denial, may not be again submitted for filing with the Director within 6 months of the Commission recommendation or Council denial, except upon the consent of the City Council.
5. *Conditional Use Permit for a School.* For an application for a CUP for a school (SIC No. 8211), the notice to property owners for the hearing before the Commission shall be given to the owner of any premises located within that distance by which a city may, by ordinance, prohibit the sale of alcoholic beverages by a dealer from a church, public school, or public hospital, as set forth in Section 109.33 of the Texas Alcoholic Beverage Code, as amended.

Section 3. That Chapter 2, Article I of the Land Development Code is revised by adding Section 2-27 to read as follows:

Secs. 2-27. – CUP Amendments

Except as herein provided, an amendment to a CUP will be processed in the same manner as required for initial approval of the CUP. The Director may approve minor amendments to a CUP to correct errors, make adjustments, or other minor revisions that do not:

1. Change the total square footage of each building by more than the lesser of 10% or 2,500 square feet;

2. Substantially alter the arrangement of Buildings, increase the number of Buildings, change the use of Building space, or reduce a required Yard or Setback;
3. Increase the Height of Buildings;
4. Substantially alter the vehicular circulation or placement of Parking Lots; or
5. Reduce Open Space or Landscape Areas.

Section 4. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-55 to read as follows:

Sec. 2-55. - Key to Permitted Uses and Parking Schedule Tables.

The key for determining uses in the Permitted Uses and Parking Schedule Tables established in Section 2-71 and Section 2-91 is as follows:

- A. Permitted Use: [P]. Designates uses permitted by right in the district indicated.
- B. Permitted Use with Supplemental Regulations: [P(N)]. Designates uses permitted by right in the district indicated, so long as they comply with the Supplemental Regulations found at the end of the table.
- C. Conditional Use: [C]. Designates a use that may be permitted in the district by an approved conditional use permit.
- D. Conditional Use with Supplemental Regulations: [C(N)]. Designates uses that may be permitted in the district by an approved conditional use permit and must also comply with the Supplemental Regulations found at the end of the table.
- E. Prohibited Uses: []. Indicates a use that is not permitted in the district.
- F. Residential Proximity Conditional Use: [*]. Indicates a district wherein a conditional use permit is required for uses in specified circumstances, as follows:
 1. A conditional use permit is required for the establishment or expansion of a nonresidential use located on property that abuts a single-family residential lot located in a single-family residential district, except as provided below.
 2. A conditional use permit is not required in the following circumstances:
 - a. Remodeling an existing building (with no expansion of the building);
 - b. Expanding a use within an existing building (with no expansion of the building);

- c. Adding to an existing building when:
 - (1) The closest exterior building wall of the new expansion is at least 100 feet from the abutting single-family residential property line; and
 - (2) The total height of the addition does not exceed 35 feet, from ground level to the top of highest portion of the building (inclusive of parapets); and
 - (3) The area of the expansion is not greater than 25% of the square footage of the floor area of the existing building;
- d. Exterior facade repair or replacement to existing structures in accordance with the particular district regulations and that do not increase the height of the existing building by more than 6 inches;
- e. Addition, repair, or replacement of architectural screening for rooftop equipment to an existing building;
- f. Addition, repair, or replacement of fencing or landscaping;
- g. Addition, repair, or replacement of internal sidewalks or fire lanes;
- h. Repair or replacement of existing parking lot paving; or,
- i. Addition of new parking lot paving that is at least 50 feet from the abutting single-family residential property line.

Section 5. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-71 to read as follows:

Sec. 2-71. - Residential Districts Permitted Uses and Parking Schedule.

The Residential Districts Permitted Uses and Parking Schedule is shown on the following pages:

Table 2-71.1: Permitted Uses and Parking Schedule for Residential Zoning Districts

See Section 2-55. for the Key to Permitted Uses and Parking Schedule Tables.
 P = Permitted Use C = Conditional Use Blank Box = Prohibited Use
 P(N) or C(N) = Permitted Use or Conditional Use with Supplemental Regulations - See Notes
 * = Residential Proximity Conditional Use, See Section 2-55 G

Land Use	R-1E	R-1	R-1R	R-1Z	R-2	R-3	R-4	Definition	Parking	Notes
Residential										
Agricultural, Ranching	P (N)	C (N)						An area that is used for the raising thereon of the poultry and farm animals such as horses, cattle, and sheep and including the necessary accessory uses for raising, and housing animals raised on the premises, but not including the commercial feeding or slaughter of animals. See Code of Ordinances for additional regulation of livestock.	No Additional Parking Required; 2: Dwelling Unit if Single-Family Home on Premises	1
Child Care Home (≤6 Children)	P	P	P	P	P	P	P	A dwelling where state licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than six (6) children at one time, including children of the adult provider, for less than twenty-four (24) hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	

Child Care Home (≥7 Children)	C	C	C	C	C	C	C	A dwelling where state licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than twelve (12) children at one time, including children of the adult provider, for less than twenty-four (24) hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	
Clergy House, Monastery, or Convent	C	C	C	C	C	C	C	A dwelling where four (4) or more unrelated employees of a Place of Worship, such as religious leaders or those studying worship, live; which is located on a separate platted lot than the associated Place of Worship; and that is tax exempt as defined by State law.	1: Resident (Minimum of 4 Spaces Required)	
Community Home	P	P	P	P	P	P	P	A dwelling for not more than six (6) persons with disabilities and two (2) supervisors and is licensed under and complies with Chapter 123 of the Texas Human Resources Code.	2: Dwelling Unit	
Dwelling, Accessory	P (N)	P (N)	P (N)					A dwelling unit, that is attached or detached from the primary on-site structure, is used as a residence, is incidental to the main structure, and is not involved in	No Additional Parking Required	2

							the conduct of a business.		
Dwelling, Multi-Family						P (N)	Seven (7) or more Dwelling Units on one (1) platted lot.	1: 5 Dwelling Units PLUS 1.5: One Bedroom Unit and 2: Two or More Bedroom Units	3
Dwelling, Single-Family Attached (Townhome)						P (N) P (N)	A building that contains Dwelling Units located on separately platted lots that are joined to other Dwelling Units on one (1) or both sides by a common wall that is located along the side lot line and separates the individual Dwelling Units, commonly referred to as a townhouse.	1: 5 Dwelling Units PLUS 1.5: One Bedroom Unit and 2: Two or More Bedroom Units	3
Dwelling, Single-Family Detached	P (N)	A building that contains only one (1) Dwelling Unit and has open space on all sides of the building.	2: Dwelling Unit	3					
Dwelling, Two-Family (Duplex)						P (N)	A building on one (1) platted lot that contains only two (2) Dwelling Units and has open space on all sides of the building, commonly referred to as a duplex.	2: Dwelling Unit	3
HUD - Code Manufactured Home						C (N)	A structure constructed on or after June 15, 1976, according to the rules of the United States Department of Housing and Urban Development; built on a	2: Dwelling Unit	3

								permanent chassis; designed for use as a dwelling with or without a permanent foundation when the structure is connected to the required utilities; transportable in 1 or more sections; in the traveling mode, at least 8 body feet in width or at least 40 body feet in length or, when erected on site, at least 320 square feet; includes the plumbing, heating, air conditioning, and electrical systems of the home; and is not a recreational vehicle as defined by 24 C.F.R. Section 3282.8(g).		
Residential Sales /Construction Office (Temporary)	P (N)	A temporary office used by a homebuilder to facilitate the sales of new homes within a subdivision where there are available for purchase new homes already built or to be built on lots located therein.	Minimum of 2 Spaces	4						
Institutional										
Library	C	C	C	C	C	C	C	A building for the viewing and check out of books, videos and other literature.	1: 300 sq.ft.	
Parks and Recreational Facilities	P (N)	An area developed for active play and recreation that may include, but is not limited to, open space, sports courts, play equipment, trails,	1: 100 sq.ft. of Indoor Facilities Plus 1: 4 Persons Design Capacity of	5						

								restrooms, and maintenance structures. The area may be owned by a public entity and used to provide recreational activities to the general public; or the area may be owned by a private, nonprofit, or homeowner's association and used to provide recreational activities to the members of the association.	Outdoor Facilities (Including Both Participants and Spectators as Applicable)	
School, Private, Elementary, Middle, and High Schools	C	C	C	C	C	C	C	A school under the sponsorship of a private or religious organization, which provides elementary, middle, and/or secondary school curricula.	Elementary and Middle Schools: 1:20 Students High Schools: 1:4 Students	
School, Public, Elementary, Middle, and High Schools	P	P	P	P	P	P	P	A school organized by a governmental entity or granted a charter under Chapter 12 of the Texas Education Code, which provides elementary, middle, and/or secondary school curricula.	Elementary and Middle Schools: 1:20 Students High Schools: 1:4 Students	
Services										
Child Care Facility, Daycare	C	C	C	C	C	C	C	An establishment, other than a public or private school, providing care training, education, custody, treatment or supervision for seven (7) or more children for less than twenty-four (24) hours a day at a location other than the	1:300 sq.ft.	

								permit holder's home. A state license is required.		
Golf Course or Country Club	C	C	C	C	C	C	C	A land area and buildings used for golf, including fairways, greens, tee boxes, driving range, putting green, and associated maintenance and retail facilities. This definition also includes associated clubhouses, dining rooms, swimming pools, tennis courts, and similar recreational or associated service uses.	1:150 sq.ft. of Indoor Facilities PLUS 4: Hole	
Helipad (Accessory)	C							An accessory use where helicopters can land and take off but excluding refueling, maintenance, repairs, and storage of helicopters. Only permitted as an accessory use to a Single-Family Detached Dwelling on a minimum 5-acre lot.	No Additional Parking Required	
HOA Clubhouse/Meeting Facility/Pool	P	P	P	P	P	P	P	A building and/or pool owned and operated by a homeowners association that is available for usage by homeowners, typically requiring rental fee and reservation, for meetings, parties, or other private events.	1:300 sq.ft. (Minimum 5 spaces required)	
Independent Senior Living (55+)							P(N)	An establishment providing dwelling units specifically designed	2: Dwelling Unit	6

								for the needs of people 55 and over. In addition to housing, this type of facility provides convenience services, such as meals, housekeeping and transportation, and community facilities, such as central dining rooms and activity rooms.		
Place of Worship	C	C	C	C	C	C	C	A building or group of buildings used for regular assembly for religious public worship and study that is used primarily for and designed for such purpose such as a church, synagogue, mosque or similar, along with accessory activities that are customarily associated therewith, such as classrooms, gathering spaces, or a place of residence for clergy on the same platted lot, and that is tax exempt as defined by State law.	With Fixed Seating: 1:3 Seats in the Main Assembly Area OR Without Fixed Seating: 1:75 sq.ft. in the Main Assembly Area	7
Short Term Rentals					C	C	C	A dwelling that is leased or rented out in whole or in part (a room, for example) for less than 30 days.	2: Dwelling Unit	
Industrial										
Utilities	C	C	C	C	C	C	C	Buildings, maintenance yards, equipment yards, service facilities, shops, utility buildings and lines, etc. used for	1:300 sq.ft. of Building or as Determined by the Director of Planning	

								the transmission, storage or maintenance of utilities such as electric utilities, gas utilities, cable facilities, or other public utilities.		
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Residential District Supplemental Regulations

1. Agriculture, Ranching

Minimum 5 acre property is required for the establishment of this use.

2. Dwelling, Accessory

Moved from Section 2-192.F.6. - Accessory Structures

- a. See Section 2-192 for additional regulations regarding Accessory Structures
- b. A Single-Family Detached Dwelling located in a R-1, R-1R, or R-1E district may provide for an additional Dwelling Unit as accessory quarters located in the Principal Building or as part of a Detached garage, if:
 - i. The accessory quarters does not contain more than 600 square feet of Living Space, and
 - ii. The occupant or occupants do not pay compensation for the use of the accessory quarters.

3. Home Occupations

Moved from Section 2-194. - Home Occupations

A Home Occupation is only permitted as an Accessory Use in a residential Dwelling Unit if it meets the following conditions:

- a. It does not depend on the employment of a person who does not reside in the residence;
- b. A separate entrance to the Primary Structure is not provided for the conduct of the occupation;
- c. An alteration is not made in the Dwelling Unit that changes its character as a Dwelling Unit;
- d. It does not use outdoor storage;
- e. It does not involve more than 300 square feet of the area of the Dwelling Unit or Accessory Structure;
- f. A Sign Advertising the Home Occupation is not located on the Premises;
- g. It does not require the delivery or shipment of merchandise, goods, or equipment by other than passenger motor vehicles, ¾ ton step-up van or similar sized trucks;
- h. It does not create or cause any perceptible noise, odor, smoke, electrical interference or vibrations to emanate from the Premises; and
- i. It is conducted so that it does not create parking or traffic congestion or otherwise place an undue burden on the abutting or adjoining neighbors or the immediate neighborhood.

4. Residential Sales/Construction Office (Temporary)

Moved from Section 2-55. - Accessory and Temporary Uses.

Temporary Construction Office. Temporary offices for construction or sales may be used on the site of a construction project as a temporary use but must be removed upon completion of the project. A temporary construction office must cease upon the issuance of a Certificate of Occupancy for the last Dwelling Unit for the subdivision or project or, in the case of a subdivision or project for which approval has been given for phased development, for the last Dwelling Unit for that phase.

5. Parks and Recreational Facilities

A reduced parking requirement may be approved by the Director of Planning, or designee, when recreational facilities are included as part of a Home Owners Association facility, and a parking analysis is submitted demonstrating a lesser parking requirement is appropriate.

6. Independent Senior Living

Independent Senior Living uses must comply with the following requirements:

- a. Provide a common dining area that is at least 3,000 sq. ft.;
- b. Provide housekeeping and transportation services to residents;
- c. Provide physical fitness and/or wellness facilities on-site;
- d. Units must be accessible through temperature controlled interior corridors;
- e. At least one person aged 55 or over shall reside in each unit.
- f. Have a maximum density of 25 bedrooms per acre; and

Facilities within 200 feet of a residential lot as measured from property line to property line are also required to:

- i. Provide an 8-foot opaque fence along side and rear property lines;
- ii. Provide 100% parking lot screening with a double row of hedges measuring 3 feet in height at time of planting; and
- ii. Orient any outdoor facilities away from residential lots.

7. Place of Worship

All uses and buildings associated with and on the same campus as the Place of Worship, including assembly/gathering facilities, shall be included in the Conditional Use Permit.

Section 6. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-91 to read as follows:

Sec. 2-91 - Nonresidential Districts Permitted Uses and Parking Schedule.

The Nonresidential Districts Permitted Uses and Parking Schedule is shown on the following pages:

Table 2-91.1: Permitted Uses and Parking Schedule for Nonresidential Zoning Districts									
See Section 2-55. for the Key to Permitted Uses and Parking Schedule Tables.									
P = Permitted Use C = Conditional Use Blank Box = Prohibited Use									
P(N) or C(N) = Permitted Use or Conditional Use with Supplemental Regulations - See Notes									
* = Residential Proximity Conditional Use, See Section 2-55 G									
Land Use	B-O*	B-1*	B-2*	M-1*	M-2	BR	Definition	Parking	Notes
Institutional									

Botanical and Zoological Gardens	P	C	P			An establishment where plants or animals are collected and designed in a way to be viewed, cared for, and/or studied, with or without an admission charge, and that may include the sale of goods and	1:300 sq.ft.	
						novelties as an accessory use.		
Library	P	P	P			A public facility that allows the view and check out of books, videos and other literature.	1:300 sq.ft.	
Museums and Art Galleries	P	P/C (N)	P	P		A building serving as a repository for a collection of natural, scientific, artistic, or literary objects of interest, and designed to be used for viewing, with or without an admission charge, and that may include the sale of goods and novelties as an accessory use.	1:300 sq.ft.	1

Parks and Recreational Facilities	P (N)	P (N)	P (N)	P (N)	P (N)	P (N)	An area developed for active play and recreation that may include, but is not limited to, open space, sports courts, play equipment, trails, restrooms, and maintenance structures. The area may be owned by a public entity and used to provide recreational activities to the general public; or the area may be owned by a private, nonprofit, or homeowner's association and used to provide recreational activities to the members of the association.	1:100 sq.ft. of Indoor Facilities Plus 1:4 Persons Design Capacity of Outdoor Facilities (Including Both Participants and Spectators as Applicable)	2
School, College and University	P	P/C (N)	P				An institution established for educational purposes offering courses for study	The applicant shall provide parking analysis for the proposed development and	1

							beyond the secondary education level. Dormitories for students and employees only are permitted in conjunction with these uses.	parking estimate shall be approved by the Director of Planning.	
School, Private, Elementary, Middle, and High	C	C	C				A school under the sponsorship of a private or religious organization, which provides elementary, middle, and/or secondary school curricula.	Elementary and Middle Schools: 1:20 Students High Schools: 1:4 Students	

Professional Office, Regional	P	P	P	P	P	An establishment for the provision of executive, management, or administrative services in an office setting in a building greater than 20,000 sq.ft. Examples may include offices of accountants, engineers, bookkeepers, attorneys, insurance, consultants, city planners.	1:250 sq.ft.		
Retail									
Bar		Bars are permitted in Alcoholic Beverage On-Premise Overlay Districts and may be permitted in Planned Development Districts. See appropriate ordinances.					A facility that derives more than fifty percent (50) percent of its revenue from the sale of alcohol beverages for consumption on the premises where the same are sold.	1:50 sq.ft. of Public Seating and Waiting Area (Including Outdoor Areas for Seating and Waiting), Plus 1:200 sq.ft. for Remainder of Building,	
Retail Sales, Small	P	P	P	P	P		A retail establishment no larger than 6,000 sq. ft. that sells food and other convenience and household goods including furniture, décor, medication, appliances, and other home		5
							improvement supplies. See Fuel Stations and Car Wash (Accessory) for these uses in conjunction with Retail Sales.		

Retail Sales, Medium		P(N)	P			A retail establishment between 6,000 sq. ft. and 25,000 s. ft. that sells food and other convenience and household goods including furniture, décor, medication, appliances, and other home improvement supplies. See Fuel Stations and Car Wash (Accessory) for these uses in conjunction with Retail Sales.		4, 5
Retail Sales, Large			P			A retail establishment over 25,000 s. ft. that sells food and other convenience and household goods including furniture, décor, medication, appliances, and other home improvement supplies. See Fuel Stations and Car Wash (Accessory) for these uses in conjunction with Retail Sales.		5
Liquor Store		P(N)	P			A retail establishment primarily engaged in selling beer, wine, and other alcoholic beverages. Establishments may specialize in a particular type of alcoholic beverage.	1:200 sq.ft.	6

Lumber and Other Building Materials			P	P			A retail establishment for the sale of building materials such as lumber, hardwood, stone, brick, or similar materials. This does not include home improvement stores.	1:300 sq.ft.	
Nurseries and Gardening, Retail			P	P	P		A facility for the growing, display, or sale of plant stock, seeds or other horticulture items. This use may include raising plants outdoors or in greenhouses for sale either as food or for use in landscaping. This does not include home improvement stores.	1:300 sq.ft.	
Pawnshop					P		A location at which or premises in which a pawnbroker regularly conducts business as defined by the State Finance Code Chapter 371.	1:200 sq.ft.	
Restaurant, With Drive-In and/or Drive-Thru Service	P(N)	P(N)	P(N)	P(N)	P(N)		An establishment that prepares and sells food and beverages for immediate consumption, including cafes, coffee shops, sandwich shops, ice cream parlors, fast food, take-out, and similar uses, that has one or more drive-through lanes or drive-in spaces for ordering and dispensing food and beverages to	1:100 sq.ft. (Including Outdoor Areas for Seating)	5, 7

							patrons remaining in their vehicles.		
Restaurant, With No Drive-In or Drive-Thru Service	P (N)	P (N)	P (N)	P (N)	P (N)		An establishment that prepares and sells food and beverages for immediate consumption, including cafes, coffee shops, sandwich shops, ice cream parlors, take-out, and similar uses.	1:50 sq.ft. of Public Seating and Waiting Area (Including Outdoor Areas for Seating and Waiting) PLUS 1:200 sq.ft. of the remainder of the building.	7
Shopping Center		See applicable Land Use category.					A complex where multiple businesses are located, characterized by shared common elements such as parking, sidewalks, and street access. See applicable use category for permitted uses. Only use this category for parking ratios.	Buildings Less Than 400,000 sq.ft.: 1:200 sq.ft.; Buildings 400,001 sq.ft. to 600,000 sq.ft.: 1:250 sq.ft.; Buildings Greater than 600,001 sq.ft.: 1:300 sq.ft.	8
Thrift Store or Donation Center		P (N)	P				An establishment primarily engaged in selling or receiving used merchandise that has been obtained through bulk-purchases or donated merchandise. Receipt of donations must occur within an enclosed building.	1:200 sq.ft.	6
Tobacco, Hookah, and Vapor Retail Store							A shop or tobacco bar that specializes in the sale or consumption of tobacco, cigars, cigarettes, electronic cigarettes, electronic vapor devices, hookahs, or other tobacco products. See Code of	1:200 sq.ft.	

							Ordinances for additional Smoking Regulations		
Wine Bar		P	P				An establishment primarily engaged in selling wine for consumption on and off the premises and which possesses a Wine and Malt Beverage Retailer's Permit (BG) from the state of Texas.	1:200 sq.ft.	
Services									
Adult Day-Care		P	P	P			A group program that is licensed by the State of Texas and designed to meet the needs of four or more functionally and/or cognitively impaired adults through an individual plan of care. These structured, comprehensive programs provide a variety of health, social, and other related support services in a protective setting during any part of a day, but less than 24-hour care. Adult day care services are dedicated to keeping adults needing assistance healthy, independent, and non-institutionalized. Adult day centers generally operate programs during normal business hours five days a week. Some programs offer	1:200 sq.ft.	

						services in the evenings and on weekends.		
Adult Oriented Businesses				P (N)		An adult arcade, adult bookstore or adult video store, adult cabaret, adult motel, adult motion picture theater, adult theater, nude model studio or sexual encounter center.	1:200 sq.ft.	9
Animal Services, Boarding/Day Care		P	P	P		A facility for the overnight boarding or day care of small animals such as dogs, cats, birds, small reptiles, and other similar household animals. See Animal Services, Outdoor Runs (Accessory) for use in conjunction with Animal Services, Boarding/Day Care.	1:300 sq.ft.	
Animal Services, Large Animals				C		A facility for the medical or surgical treatment, grooming, boarding, shelter services, or other veterinary services for large animals such as horses, cattle, and other similar outdoor animals.	1:300 sq.ft.	
Animal Services, Outdoor Runs (Accessory)		P (N)	P (N)	P (N)		Fenced outdoor facilities for small animals. This use is an accessory only in association with an approved Animal Services, Small Animals or Animal Services, Boarding/Day Care use.	No Additional Parking Required	7, 10
Animal Services, Small Animals		P	P	P		A facility for the medical or surgical	1:300 sq.ft.	

						treatment, grooming, or other veterinary services for small animals such as dogs, cats, birds, small reptiles, and other similar household animals. Overnight stays are primarily for those required after a surgical procedure for a household pet. See Animal Services, Outdoor Runs (Accessory) for use in conjunction with Animal Services, Small Animals.		
Assembly Facility, Banquet/Event Center	P	P (N)	P	P		A building, facility, room, or portion thereof, which is rented, leased or otherwise made available to any person or group for a private event function, that is not open to the general public, whether or not a fee is charged. This use also includes meeting halls for civic organizations or social groups. This definition does not include assembly facilities associated with and on the same campus as a Place of Worship.	1:100 sq.ft.	1
Assisted Living	C (N)	P(N)	P (N)			A facility providing residence, supervision and daily assistance for individuals with common dining and recreational areas designed for the needs of older adults or people with disabilities.	1: 2 Resident Occupants (at maximum capacity of facility)	11, 12

						Services in these establishments include personal services such as assistance with dressing, grooming, bathing, and social and recreational services, such as meal services, transportation, housekeeping, linen and organized social activities and administration of medication by a person licensed or otherwise authorized in this state to administer the medication. These facilities must be licensed as Type A or Type B facilities under the State of Texas.		
Building and Property Maintenance Services and Security			P (N)	P	P	A variety of businesses, not elsewhere classified, that provide off-site services to buildings/ properties that involve fleet vehicles and/or on-site storage of products utilized in servicing. This includes but is not limited to plumbers, electricians, HVAC services, pest control, facility cleaning, and security (armored car or security systems) services.	1:300 sq.ft.	13
Campground and RV Park						C An area or commercial campground for users of	2:Camp Site	

						recreational vehicles, travel trailers, and similar vehicles to reside, park, rent, or lease on a temporary basis.		
Child Care Facility, Daycare	P	P (N)	P	P		An establishment, other than a public or private school, providing care training, education, custody, treatment or supervision for seven (7) or more children for less than twenty-four (24) hours a day at a location other than the permit holder's home. A state license is required.	1:300 sq.ft.	4
Cleaning, Dry Cleaners Pick-Up & Drop-Off	P (N)	P(N)	P(N)			An establishment that accepts clothing to be laundered, dry cleaned, dyed, or pressed. Laundering and pressing is permitted on site. Dry cleaning, dyeing, and other processes involving the use of solvents are prohibited on-site.	1:200 sq.ft.	5, 14, 15
Cleaning, Dry Cleaning Plant				P (N)	P (N)	A facility for the cleaning of clothing, linen, and other textiles through a special process involving the use of solvents.	1:300 sq.ft.	5, 14
Cleaning, Laundromat				P		A facility where patrons wash and dry clothing and other fabrics in machines operated by the patron.	1:200 sq.ft.	
Clinic, Drug and Alcohol Treatment			P			An Institution, public or private,	1:200 sq.ft.	

						for the treatment of drug and alcohol addiction on an out-patient basis.		
Commercial Amusement, Indoor	P	P (N)	P			An amusement enterprise offering entertainment or games of skill to the general public for a fee or charge, wherein all portions of the activity takes place indoors, including, but not limited to: bowling alley, billiard/pool facility, miniature golf course, gun range/archery range, roller/ice skating rink, racquetball/handball club, indoor tennis courts/club, indoor swimming pool or scuba diving facility, video arcade, indoor trampoline park/bouncy park, fortune telling, card reading, illusionists, magicians and puzzle-solving games.	Bowling Alley: 4: each bowling lane; Billiard/Pool Facility: 2:pool table; Indoor Miniature Golf Course: 1:200 sq.ft. for indoor, plus 1½:hole; Gun Range/Archery Range: 1:200 sq.ft. of indoor facilities, plus 1:lane; Roller/Ice Skating Rink: 1:150 sq.ft. of rink area; Indoor Game Courts: 3:court; Video Arcade: 1:200 sq.ft., plus 1:3 persons that the facility is designed to accommodate at maximum capacity; Indoor Trampoline/Bouncy Park: 1:200 sq. ft. Other Uses: 1:200 sq.ft.	4
Commercial Amusement, Outdoor		C	P			A commercially operated enterprise offering entertainment or games of skill to the general public for a fee or charge, wherein any portion of the activity takes place outdoors, including, but not limited to, miniature golf course, amusement park, golf driving range, archery range, batting cages, go-cart track, sports field, and swimming	Parking: Miniature Golf Course: 1:200 sq.ft. of indoor facilities, plus 1½:hole; Golf Driving Range/Archery Range: 1:200 sq.ft. of indoor facilities, plus 1:lane or skeet field; Amusement Park: 1:3 persons that the facilities are designed to accommodate at maximum capacity; Go-Cart Tracks/Sports Fields/Swimming	7

							pool/waterpark. Gun ranges are classified as Commercial Amusement, Indoor.	Pool: 1:100 sq.ft. of indoor facilities, plus 1:4 persons design capacity of outdoor facilities, including both participants and spectators as applicable; Other Uses: 1:200 sq.ft.	
Concert or Performance Hall	P		P				A building devoted to the showing of musical or live performances including rehearsal space.	With Fixed Seating: 1:4 Seats in the Main Assembly Area OR Without Fixed Seating: 1:100 sq.ft. in the Main Assembly Area	
Emergency Rooms/Urgent Care Facilities	C	P(N)	P(N)				A stand-alone facility, outside of a hospital setting, that provides immediate or emergent medical treatment on a strictly outpatient basis. Patients are generally treated on a walk-in basis and services are not intended for long-term or overnight care.	1:250 sq.ft.	7
Financial Institution with Drive-Thru	P(N)	P(N)	P(N)	P(N)			A banking establishment with drive-thru facilities, open to the public, for the deposit, custody, loan, exchange or issue of money, the extension of credit, and facilitating the transmission of funds excluding pawnshops, check cashing businesses, payday advance/loan businesses, car title loan businesses and bail bonds.	1:250 sq.ft.	5

Financial Institution without Drive-Thru	P	P	P	P			A banking establishment without drive-thru facilities, open to the public, for the deposit, custody, loan, exchange or issue of money, the extension of credit, and facilitating the transmission of funds. Excludes pawnshops, check cashing businesses, payday advance/loan businesses, car title loan businesses and bail bonds.	1:250 sq.ft.	
Fitness Center, Indoor Fitness Instruction	P	P	P	P			An establishment engaged in providing indoor fitness instruction such as yoga, dance, Pilates, martial arts, Zumba, kickboxing, boot camp, swimming instruction, etc. that is a maximum of 10,000 sq.ft. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.	1:200 sq.ft.	
Fitness Center, Large	C		P				A public or private facility 10,000 sq.ft. or greater operated to promote physical health and fitness. Activities may include exercise, physical therapy, training, and education pertaining to health and fitness. Uses or combinations of uses or facilities would typically	1:200 sq.ft.	

							include, but are not limited to, game courts, weight lifting and exercise equipment, aerobics, indoor swimming pools and spas, and running or jogging tracks. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.		
Fitness Center, Outdoor Facilities & Activities (Accessory)	P(N)	P(N)	P(N)	P			An accessory use only permitted in conjunction with and on the premises of a Fitness Center use. Permitted accessory uses include outdoor fitness facilities, outdoor ball courts, outdoor swimming pools, or outdoor fitness classes.	No Additional Parking Required unless determined necessary by the Director of Planning	7
Fitness Center, Small	P	P	P	P			A public or private facility less than 10,000 sq.ft. operated to promote physical health and fitness. Activities may include exercise, physical therapy, training, and education pertaining to health and fitness. Uses or combinations of uses or facilities would typically include, but are not limited to, game courts, weight lifting and exercise equipment, aerobics, indoor swimming pools and spas, and running or jogging	1:200 sq.ft.	

						tracks. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.			
Funeral Home	C	P	P			A place for the storage of human bodies prior to their burial or cremation, which may also be used for the preparation of the deceased for burial and the display of the deceased and ceremonies and services connected with these activities. Includes accessory uses such as crematory. All services shall be in accordance with applicable state law.	With Fixed Seating: 1:4 Seats in the Main Assembly Area OR Without Fixed Seating: 1:100 sq.ft. in the Main Assembly Area PLUS 1:200 sq.ft. for the Remainder for the Building.		
Golf Course or Country Club	C	P	P			C A land area and buildings used for golf, including fairways, greens, tee boxes, driving range, putting green, and associated maintenance and retail facilities. This definition also includes clubhouses, dining rooms, swimming pools, tennis courts, and similar recreational or associated service uses.	1:150 sq.ft. of Indoors Facilities PLUS 4:Hole		
Heavy Commercial Equipment Rental, Leasing and Sales			C	P	P		An establishment engaged in the rental and leasing of heavy construction equipment and other large items for rent stored outdoors.	1:500 sq.ft. of Indoor Office PLUS 1:1,000 sq.ft. of Outdoor Equipment Storage Space	

						include, but are not limited to, game courts, weight lifting and exercise equipment, aerobics, indoor swimming pools and spas, and running or jogging tracks. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.		
Fitness Center, Outdoor Facilities & Activities (Accessory)	P(N)	P(N)	P(N)	P		An accessory use only permitted in conjunction with and on the premises of a Fitness Center use. Permitted accessory uses include outdoor fitness facilities, outdoor ball courts, outdoor swimming pools, or outdoor fitness classes.	No Additional Parking Required unless determined necessary by the Director of Planning	7
Fitness Center, Small	P	P	P	P		A public or private facility less than 10,000 sq.ft. operated to promote physical health and fitness. Activities may include exercise, physical therapy, training, and education pertaining to health and fitness. Uses or combinations of uses or facilities would typically include, but are not limited to, game courts, weight lifting and exercise equipment, aerobics, indoor swimming pools and spas, and running or jogging	1:200 sq.ft.	

						tracks. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.			
Funeral Home	C	P	P			A place for the storage of human bodies prior to their burial or cremation, which may also be used for the preparation of the deceased for burial and the display of the deceased and ceremonies and services connected with these activities. Includes accessory uses such as crematory. All services shall be in accordance with applicable state law.	With Fixed Seating: 1:4 Seats in the Main Assembly Area OR Without Fixed Seating: 1:100 sq.ft. in the Main Assembly Area PLUS 1:200 sq.ft. for the Remainder for the Building.		
Golf Course or Country Club	C	P	P			C A land area and buildings used for golf, including fairways, greens, tee boxes, driving range, putting green, and associated maintenance and retail facilities. This definition also includes clubhouses, dining rooms, swimming pools, tennis courts, and similar recreational or associated service uses.	1:150 sq.ft. of Indoors Facilities PLUS 4:Hole		
Heavy Commercial Equipment Rental, Leasing and Sales			C	P	P		An establishment engaged in the rental and leasing of heavy construction equipment and other large items for rent stored outdoors.	1:500 sq.ft. of Indoor Office PLUS 1:1,000 sq.ft. of Outdoor Equipment Storage Space	

Heliport	C	C	C	C	C	A place where helicopters can land and take off, equipped with hangars, helipads, facilities for refueling and repair, and various accommodations for passengers.	1:300 sq.ft. of Main Office Area PLUS 1:Hangar	
Hospital	C	P				An institution used or designed for the housing or treatment of sick or injured patients where they are given medical or surgical treatment intended to restore them to health, and that is licensed by the State of Texas. This includes any helipads required for emergency services.	Inpatient Area - 2: Bed Outpatient Area - 1:400 sq.ft.	
Hotel, Full Service	P (N)	P (N)				A hotel with guest rooms offered at nightly rates only, and that contains and offers the following amenities: 1. A minimum of 10,000 square feet of dedicated meeting and event facilities; 2. Full-menu room service; 3. Fitness center; 4. Swimming pool; 5. Restaurant accessible through the interior of the hotel that offers a full-menu, table service, and seating for at least 50 patrons during standard dining hours; and 6. Lounge area containing a counter, tables, or	1: Guest Room PLUS 1:200 sq.ft. for Meeting Room/ Restaurant	16

						seating area where alcoholic beverages are sold for consumption in that area.		
Hotel, Limited Service			C (N)			A hotel with guest rooms offered at nightly rates only, and that contains the following amenities: 1. A minimum of 500 square feet of dedicated meeting and event facilities; 2. Swimming pool; and 3. Fitness center.	1: Guest Room PLUS 1:200 sq.ft. for Meeting Room/ Restaurant	16
Hotel, Select Service	C (N)		C (N)			A hotel with guest rooms offered at nightly rates only, and that contains and offers the following amenities: 1. A minimum of 4,000 square feet of dedicated meeting and event facilities; 2. A restaurant accessible through the interior of the hotel that offers made-to-order food and seating for at least 30 patrons during standard dining hours; 3. Swimming pool; and 4. Fitness center.	1: Guest Room PLUS 1:200 sq.ft. for Meeting Room/ Restaurant	16
Independent Senior Living (55+)	C (N)	P(N)	P(N)			An establishment providing dwelling units specifically designed for the needs of people 55 and over. In addition to housing, this type of facility provides convenience services, such as meals,	2:Dwelling Unit	11, 17

						housekeeping and transportation, and community facilities, such as central dining rooms and activity rooms.		
Individual and Family Social Services	P		P			Establishments engaged in providing one or more of a variety of individual and family social, counseling, welfare, or referral services, including refugee, disaster, and temporary relief services.	1:250 sq.ft.	
Landscape Services				P	P	An establishment engaged in providing a variety of services to maintain the health and appearance of landscaping, including the use of fleet vehicles.	1:300 sq.ft.	
Long-Term Acute Care Facility/Rehabilitation Hospital	C		P			A facility that is licensed by the State of Texas and devoted to patients with various neurological, musculo-skeletal, orthopedic and other medical conditions following stabilization of their acute medical conditions. The acute care may include physical therapy, occupational therapy, speech therapy, and such and is designed to improve the patient's independence so they may return to their home.	2:1 permanent beds	11
Medical and Dental Laboratory	P		P	P	P	A facility in which medical tests are	1:300 sq.ft.	

						conducted on specimen, body fluids, tissues, such as blood analysis, molecular diagnostics, forensic toxicology testing; or dentures, artificial teeth, and orthodontic appliances are made to order for the dental profession.		
Medical, Dental, or Therapist Clinic/Office	P	P	P			Institution, public or private, in which the primary use is the provision of health care services to patients or clients. Such services may include medical, dental, psychiatric, psychological, chiropractic, acupuncture, massage therapy, mental health, physical and/or occupational therapy, and related medical services. This use includes out-patient health services not otherwise specified including dialysis centers, blood donations, IV infusion, and other non-surgical outpatient services.		
Mini-Warehouse and Self-Storage			C	C	P	A facility with enclosed storage space, divided into separate compartments, that is provided for use by individuals or businesses in exchange for the payment of rent,	1:50 Storage Units (spread throughout the development) PLUS 5 Spaces on the Outside of the Security Fence for Customers	

						typically on a monthly basis.		
Movie Theater			P			A building or portion of a building devoted primarily to the showing of movies or motion pictures and including the sale of concessions to theater patrons.	1:4 Seats	
Nursing and Personal Care Facility	C	P(N)	P(N)			A facility providing primarily in-patient health care, personal care, or rehabilitative services over a long period of time to persons who are chronically ill, aged or disabled and who need ongoing health supervision but not hospitalization. (Also referred to as Nursing Home or Skilled Nursing Facility.)	1:2 Resident Occupants (at maximum capacity of facility)	11
Other Educational Services	P	P	P	P		Educational establishments, other than elementary and secondary schools, providing instruction in a classroom setting with a specific set of curricula including tutoring, music schools, language school, and similar establishments as well as educational testing centers.	1:300 sq.ft.	
Payday Loans, Check Cashing, and Bail Bonds				C		Bail Bonds: An establishment engaged in the sale of bail bonds. Payday Loans and Check Cashing: defined in Chapter 393 of the Texas Finance Code.	1:200 sq.ft.	

Permanent Makeup	P	P	P	P		An establishment whose practices placing of marks upon or under the skin of any person, using ink or other substances that result in the permanent coloration of the skin by means of the use of needles or other instruments designed to contact or puncture the skin to produce designs that resemble makeup or skin re-pigmentation such as eyebrows, eyeliner, lips, scar concealing, and other permanent enhancing colors.	1:200 sq.ft.	
Personal Services	P(N)	P(N)	P	P		An establishment engaged in the provision of informational, instructional, personal improvement, personal care, small household repairs, and similar services such as portrait and photography studios, art and music schools, print shops, art or hobby instruction, salons, barber shops, household good repair, tailor/alteration shops, and small single cylinder engine repairs.		1, 15
Place of Worship	P	P	P			A building for regular assembly for religious public worship that is used primarily for	With Fixed Seating: 1:3 Seats in the Main Assembly Area OR	

						and designed for such purpose such as a church, synagogue, mosque or similar, along with accessory activities that are customarily associated therewith, such as a place of residence for clergy on the premises, and that is tax exempt as defined by State law.	Without Fixed Seating: 1:75 sq.ft. in the Main Assembly Area	
Radio Television and Internet Broadcasting	P		P	P		A building or portion of a building used as a place for radio or television broadcasting and including typical broadcasting equipment but excluding large dishes, antennae, and telecommunication towers. See Chapter 2, Article VII of the Development Code for regulations regarding Telecommunication Towers and Antennas.	1:250 sq.ft.	
Research, Life Sciences and Healthcare	P		P	P	P	An establishment engaged in research concerning biology, microbiology, biochemistry, other life sciences, and general healthcare such as agricultural research, food research, pharmaceutical research, oceanographers, biotechnical research, and other related life science	1:300 sq.ft.	

						and healthcare research.		
Research, Research and Testing Laboratory				P	P	An establishment which provides research and testing services, including industrial testing, such as calibration services, soil testing, carbon monoxide testing, water testing, product testing, and other related testing services.	1:300 sq.ft.	
Research, Technology Development	P		P	P	P	An establishment which conducts research, development, testing or controlled production of high-technology electronic, industrial, or scientific such as computer software, electronic components, electronic research, instrument analysis, robotics, optical equipment, and other related services.	1:300 sq.ft.	
Studio, Glass or Ceramics			P	P	P	An establishment primarily used for an artisan workshop to make or manipulate glass or ceramic products.	1:500 sq.ft.	18
Studio, Metalwork, Woodwork, & Furniture (Including Repair)			P	P	P	An establishment primarily used for an artisan workshop dedicated to metal work, woodworking, or furniture making. Activities include but are not limited to forging individual pieces of metal, welding services,	1:500 sq.ft.	18

						blacksmithing, creating works of art using metal, carving wood, assembling pieces together, furniture upholstery and repair, or finishing wooden pieces. Activities may also include repair that utilizes welding.		
Studio, Tattoo and/or Body Piercing				C		An establishment or facility in which tattooing and/or body piercing is performed as defined by Chapter 146 of the Texas Health and Safety Code. This does not include the tattooing of permanent makeup.	1:200 sq.ft.	
Supply Rental			P	P	P	An establishment engaged in the rental and leasing of event furniture, linens, cutlery, machines, vending and entertainment machines, office machines, electronic equipment and other items for rent that are stored completely enclosed within the structure.	1:300 sq.ft.	
Vehicle-Related								
Auto Parts, Retail			P			An establishment that sells auto parts and accessories and may offer minor installation services, such as window tinting and stereo installation.	1:200 sq.ft.	
Auto Repair and Services, Major			C	P	P	General repair or reconditioning of engines, air conditioning	1:200 sq.ft. (Each Bay May Count as a Parking Space)	

						systems and transmissions for motor vehicles; collision repair services including body, frame or fender straightening or repair; customizing; painting; vehicle steam cleaning; undercoating and rust proofing; also includes those uses listed under Automobile Repair, Minor.		
Auto Repair and Services, Minor			P(N)	P(N)	P(N)	Minor repair or replacement of parts, tires, tubes and batteries; diagnostic services; minor maintenance services such as grease, oil, spark plug and filter changing; tune-ups; muffler repair, emergency road service; replacement of starters, alternators, hoses and brake parts; automobile washing and polishing; performing state inspections and making minor repairs necessary to pass said inspection; normal servicing of air-conditioning systems; window tinting; inspection services, diagnostics; and other similar minor services for motor vehicles except heavy load vehicles, but not including any	1:200 sq.ft. (Each Bay May Count as a Parking Space)	19

						operation named under Automobile Repair, Major; wrecker/towing services; or any other similar use. May include the retail sale of auto parts		
Boat and RV Sales			C	C		A dealership specializing in the sale of boats, or RVs, including accessory uses such as repair and service.	1:500 sq.ft. of Climate Controlled Area	
Car Sales, New and Used			C	C		Sales of new and used automobiles, including accessory uses such as Car Sales, Used and Automobile Repair, Minor.	1:500 sq.ft. of Climate Controlled Area	
Car Sales, Used			C	C		Sales of used automobiles, including the accessory use Automobile Repair, Minor.	1:500 sq.ft. of Climate Controlled Area	
Car Wash (Accessory)			C	P(N)		Washing, waxing or cleaning of automobiles or light duty trucks where the owner of the vehicle causes the vehicle to become washed. Typically, an unattended car wash facility utilizing automated self-service (drive-through/rollover) wash bays and apparatus in which the vehicle owner inserts money or tokens into a machine, drives the vehicle into the wash bay, and waits in the vehicle while it is being washed. Only permitted in conjunction with a	No Additional Parking Required (Each Bay or Wash Tunnel May Count as 1 Parking Space)	19

						Retail Sales (Small, Medium, Large) use.		
Car Wash, Drive-Thru or Hand Wash			C	P(N)		Washing, waxing or cleaning of automobiles or light duty trucks where the owner of the vehicle does not actually wash the vehicle. The owner either leaves the vehicle or comes back to retrieve it later, or the owner waits in a designated area while employees of the car wash facility vacuum, wash, dry, wax and/or detail the vehicle for a fee.	1:200 sq.ft. (Minimum of 5 spaces. Each Bay or Wash Tunnel May Count as 1 Parking Space)	19
Car Wash, Self Service			C	C		Washing, waxing or cleaning of automobiles or light duty trucks where the owner of the vehicle causes the vehicle to become washed. One type of unattended car wash facility utilizes automated self-service (drive-through/rollover) wash bays and apparatus in which the vehicle owner inserts money or tokens into a machine, drives the vehicle into the wash bay, and waits in the vehicle while it is being washed. The other type of unattended facility is comprised of wand-type self-service (open) wash bays in which the vehicle owner drives the vehicle into the wash bay,	1:1 Bay (Minimum of 5)	19

						gets out of the vehicle, and hand washes the vehicle with a wand-type apparatus by depositing coins or tokens into a machine.		
EV Charging Stations			P(N)	P(N)		Any facility, equipment, or fixture, including a canopy and ground-mounted equipment, providing electric charging stations for charging electric or hybrid passenger vehicles.	No additional parking required.	20
Gas Pumps (Accessory)		C(N)	C(N)	P(N)		Any facility, equipment, or fixture, including a canopy, used for retail dispensing of motor vehicle fuels primarily to passenger vehicles. Only permitted in conjunction with a Retail (Small, Medium, or Large) use.	See Retail for Parking Requirement. (Each Pumping Station Counts as a Parking Space)	20
Other Automotive Sales			C	C		Sales of other new and used automotive vehicles not specifically defined, such as motorcycles, scooters, golf carts, utility trailers, and other similar products completely enclosed within the primary structure.	1:500 sq.ft. of Climate Controlled Area	
Parking of Passenger Vehicles	P		P	P		A commercial parking lot that provides parking spaces for vehicles less than one (1) ton capacity for a fee or free.	No Additional Parking Required	

Passenger Car Rental			C	C			A business establishment that provides for the renting of automobiles on a short-term basis (differentiated from leasing, which is on a long-term basis). This may also involve the incidental storage of the automobiles being rented.	1:500 sq.ft. of Climate Controlled Area	
Truck, Trailer, and RV Rental			C	C			A business establishment that provides for the renting of trucks, trailers, or RVs on a short-term basis (differentiated from leasing, which is on a long-term basis). This may also involve the incidental storage of the vehicles being rented.	1:500 sq.ft. of Climate Controlled Area	
Industrial									
Agriculture, Commercial Crops	P(N)	P(N)	P(N)	P(N)	P(N)	P(N)	An area used for the growing of farm products, vegetables, fruits, flowers, trees and/or grain and including the necessary accessory structures or uses for raising, treating and storing products raised on the premises. A minimum of 5 acres is required to establish this use.	1:Each Employee in Maximum Work Shift	
Agriculture, Commercial Livestock				C	C	P	An area used for the raising of the poultry and livestock animals such as horses, cattle, and sheep and including the necessary	1:Each Employee in Maximum Work Shift	

						accessory structures or uses for raising, and housing animals raised on the premises. Does not include feed lots or auction facilities. See Code of Ordinances for additional regulation of livestock		
Alcohol Production, Macro				C	C	A facility, typically over 15,000 sq.ft., where beer, wine, or other alcoholic beverages are brewed, fermented, or distilled for distribution and which possess the appropriate licenses from the state of Texas.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	
Alcohol Production, Micro with Food Sales			P (N)	P(N)	C	A facility, typically 15,000 sq.ft. or less, where beer, wine, or other alcoholic beverages are brewed, fermented, or distilled for distribution and consumption, and which possess the Brewpub (BP) license from the State of Texas. This facility also prepares and sells food and alcoholic beverages for immediate consumption on-site; on-site consumption of alcoholic beverages must be less than fifty (50) percent of its revenue. Such facilities are typically	1:500 sq.ft. of Production Area and Office PLUS 1:100 sq.ft. of Taproom, Lounge, and Dining Area, of Both Indoor and Outdoor Seating	21

						independently owned.		
Alcohol Production, Micro without Food Sales				P	C	A facility, typically 15,000 sq.ft. or less, where beer, wine, or other alcoholic beverages are brewed, fermented, or distilled for distribution, and which possess the Brewer's (BW) license from the state of Texas and is typically independently owned. On-site consumption is limited to tasting.	1:500 sq.ft.	21
Commercial Extraction and Storage of Soil, Sand, and Gravel or Similar Material					C	C	The excavation and storage of sand, gravel, minerals, or other raw resources from the earth.	1:Each Employee in Maximum Work Shift
Document Shredding	P(N)		P(N)	P	P	The destruction and recycling of paper documents for other businesses. Businesses may provide pick up services to transport materials to the destruction and recycling facility. All shredding must take place within an enclosed building.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	22
Food and Drink Bottling, Canning, and Packaging				P	P	A facility where various food or beverages are canned, bottled, boxed, or containerized and then sold to suppliers. This does not include the production of various food or beverages.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	

Industrial Printing, Media Development and Distribution				P	P	Manufacturing and distribution of newspapers, books, and/or similar media. Also includes movie production.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	
Industrial/Agricultural Machinery and Equipment Servicing and Repair Shop				P	P	An establishment for the repair and service of large machinery and equipment most common in industrial and agricultural applications.	1:300 sq.ft.	
Manufacturing, Bio-Tech, Hi-Tech				P	P	A facility that develops and manufactures parts or completed products using advanced processes in the fields of engineering, technology, and biology. Biotechnology processes involve using raw materials, living cells or a component of cells, to generate other biologic materials to be harvested and used to produce products such as plant-based biodegradable plastics, bio fuels, special microorganisms, and other similar products. Hi-tech processes may involve the forming, casting, molding, machining, or assembly of completed products or pieces that may be used to create	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	

						other goods such as fiber optic cables, circuit boards, computers, medical equipment, capacitors, tools, measuring, controlling and analyzing instruments, and other similar products.		
Manufacturing, Chemical					C	A facility engaged in the manufacturing and development of a wide variety of chemical products by conducting a chemical process on organic or inorganic raw material. Chemical products may include basic, specialty, and consumer chemicals including, but not limited to, soaps and detergents, paints, resins, and dyes. A chemical process may involve specialized machinery for preparing raw materials, causing chemical reactions to produce the desired chemical, separating resulting chemicals, and purification of chemicals. Petroleum refineries are not included in this definition.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	
Manufacturing, Food and Related Products					C	A facility engaged in the manufacturing, packing, processing, or refining of food and	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS	

						related products such as meat, fish, dairy, grains, sugars, and fats and oils.	1:1,000 sq.ft. (Warehouse)	
Manufacturing, Heavy				P		A manufacturing facility, not elsewhere classified, engaged in manufacturing, assembly, fabrication, packaging or other industrial processing of products primarily from extracted or raw materials or the bulk storage and handling of such products and materials. Examples include manufacturing or assembly of machinery, metals, large equipment, vehicles, and appliances. Petroleum refineries, metal foundries, production of non-commercially available ammunition and arms, concrete production and similar processes are not included in this definition.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	
Manufacturing, Light				P	P	A manufacturing facility, not elsewhere classified, engaged in the processing, manufacturing, compounding, assembling, packaging, treatment, or fabrication of materials and products, from previously	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	

						manufactured materials. Such use is capable of operating entirely within a building. Examples include manufacturing of clothing, furniture, aluminum ware, glass, ceramics, and production of plastic bags. May also include wholesale distribution of these products.		
Municipal Airport				P	P	Facilities associated with the Sugar Land Regional Airport for the takeoff and landing of aircraft, including runways, aircraft storage buildings, helicopter pads, air traffic control facilities, informational facilities and devices, terminal buildings, and airport auxiliary facilities, including fences, lighting and antennae systems, on-premises signs, driveways, and access roads. This term also includes aircraft maintenance facilities and aviation instruction facilities associated with the Sugar Land Regional Airport.	Director of Planning will determine the required parking based on applicant's parking analysis for the proposed development and parking estimate.	
Pharmaceuticals Packing and/or Blending				P	P	A facility that combines finished chemicals by mixing or blending using specialized machinery to produce a	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS	

						homogenous pharmaceutical or vitamin product. This facility may also package the resulting pharmaceutical product for transport or sale. This facility does not involve chemical processing as described in Manufacturing Chemical.	1:1,000 sq.ft. (Warehouse)	
Railroad Freight Yard				C	P	A facility that is used for the loading and unloading of freight, goods, or products for transport by train.	1:500 sq. ft. (Minimum of 5 spaces required)	
Recycling Collection Center				C	C	A facility for collection and transfer of materials for recycling. Some compacting may take place on-site and all processes must take place completely within an enclosed building. This category does not include collection and recycling of vehicles or vehicle parts.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	
Telecommunications Towers				C	C	A facility that transmits and/or receives electromagnetic signals. See Ch. 2 Art. VII for regulations regarding Telecommunication Towers and Antennas	1:300 sq.ft. of Associated Buildings (Minimum of 1 space required)	
Utilities				C	P	C	Buildings, maintenance yards, equipment yards, service facilities,	1:300 sq.ft. of Building or as Determined by the

						shops, utility buildings and lines, etc. used for the transmission, storage or maintenance of utilities such as electric utilities, gas utilities, cable facilities, or other utilities.	Director of Planning	
Warehouse and Distribution Facility				P	P	An enclosed structure for the storage of goods for distribution or transfer to another location.	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office	
Wholesale, Agricultural Products and Livestock					C	A facility that engages in the wholesale of agricultural products such as grains or beans, or the wholesale of livestock (such as a livestock auction market). This category does not include concentrated animal feeding operations.	1:300 sq.ft. of Building or as Determined by the Director of Planning	
Wholesale, Durable and Nondurable Goods				P (N)	P (N)	A facility that engages in the wholesale of one or more types of innocuous/non-hazardous goods that are not intensive goods, which are categorized in Wholesale, Heavy, Intensive, or Large-Scale Goods. Products may include nondurable goods such as paper products, plastic products, pharmaceuticals, textiles, apparel and other products; and durable retail goods such as	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office	23

						furniture, household appliances and goods, electronics and computers, office equipment, automotive parts and supplies; hardware (including industrial hardware) such as fittings and valves; plumbing, heating, and electrical equipment and supplies; lumber and construction materials; semi-finished metal products (including bars, rods, pipes, wires, etc.) and other similar products. Limited small-scale hand assembly and packaging is permitted as part of this use.	
Wholesale, Automobiles and Other Vehicles				C	P	A facility that engages in the wholesale of automobiles, motorcycles, boats, RVs, and other vehicles.	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office
Wholesale, Bakery				P	P	A facility that is used for the production and distribution of baked goods and confectioneries to retail outlets. Limited small-scale hand assembly and packaging is permitted as part of this use.	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office
Wholesale, Beer, Wine, and Distilled Beverages				P	P	A facility that engages in the wholesale of beer, wine, and distilled beverages. Limited small-scale hand assembly and	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office

						packaging is permitted as part of this use.		
Wholesale, Heavy, Intensive or Large-Scale Goods				P		A facility that engages in the wholesale of heavy or large-scale goods such as: intensive and/or hazardous chemicals (including acids, chlorine, compressed and liquefied gasses, or similar); heavy industrial, farm, and construction machinery and equipment; metals and metallic ores; petroleum and related fuels; and other similar goods. This category does not include scrap/waste, auto wreckers, or pre-fabricated buildings. Limited small-scale hand assembly and packaging is permitted as part of this use.	1:2,000 sq.ft. of Warehouse PLUS 1:300 sq.ft. of Office	
Wholesale, Nurseries and Gardening				P	P	A facility that engages in the wholesale of flowers, shrubs, trees, and other plant and gardening supplies. Limited small-scale hand assembly and packaging is permitted as part of this use.	1:500 sq.ft. of Indoor Office PLUS 1:1,000 sq.ft. of Outdoor Storage Space	
Woodworking and Planing Mill					P	A facility that engages in manufacturing fabricated wood millwork, cabinetry, hardwood and softwood.	Less Than 25,000 sq.ft.: 1:500 sq.ft. OR 25,000 or greater: 1:500 sq.ft. (Office) PLUS 1:1,000 sq.ft. (Warehouse)	

Non-Residential Districts Supplemental Regulations

1. Size limitation in B-1 District (10,000 sq. ft.)

In the B-1 district, establishments greater than 10,000 square feet are not permitted.

2. Parks and Recreational Facilities

A reduced parking requirement may be approved by the Director of Planning, or designee, when recreational facilities are included as part of a Home Owners Association facility, and a parking analysis is submitted demonstrating a lesser parking requirement is appropriate.

3. Vocational Schools Size limitation

In the B-O and B-1 districts:

- a. Classrooms 10,000 sq. ft. or less permitted by right;
- b. A Conditional Use Permit is required if:
 - i. The proposed classroom space is greater than 10,000 sq.ft.; or
 - ii. If other training facilities are proposed to be included.

4. Size limitation in B-1 District (15,000 sq. ft.)

In the B-1 district, establishments greater than 15,000 square feet are not permitted.

5. Drive-Thru Facilities

- a. Drive-thru facilities are not permitted within 200 feet of a residential lot, as measured from any menu or speaker box to the property line of adjacent residential property.
- b. All drive-thru facilities shall comply with the following requirements:
 - i. Speakers must be oriented away from the nearest residential lot(s);
 - ii. A 10-foot wide bypass lane is required adjacent to the stacking lane to allow vehicles to circumvent the drive-thru lane;
 - iii. 100% double row of landscape screening 3 feet in height at the time of planting is required adjacent to the drive-thru lane to screen the stacked vehicles from neighboring properties; and
 - iv. Drive thru lanes may not be located between the Primary Structure and the Front Lot Line.
- c. Each drive-thru lane may count as one space toward total parking count.

6. Size limitation in B-1 (5,000 sq. ft.)

In the B-1 district, establishments greater than 5,000 square feet are not permitted.

7. Limitations near Residential Uses

In all districts, the following are not permitted within 200 feet of a residential lot (excluding Multi Family) measured from the edge of the following uses to the nearest residential lot line:

- a. Outdoor Patio with Speakers
- b. Emergency Rooms
- c. Fitness Center, Outdoor Facilities & Activities (Accessory)
- d. Animal Services, Outdoor Runs (Accessory)
- e. Commercial Amusement, Outdoor

8. Shopping Centers

Moved from Section 2-213F

For Shopping Centers:

- a. Where Restaurants and/or Places of Worship occupy less than 50% of the gross square footage (not the primary use), parking is calculated at the Shopping Center ratio.
- b. Where Restaurants and/or Places of Worship occupy 50% or more of the gross square footage, parking is calculated at the Restaurants and/or Places of Worship ratio for the portion of the building occupied by the Restaurant(s) and/or Place(s) of Worship. For the remainder of the building, the Parking Spaces required must equal the sum of the requirements of the remaining uses computed separately.

9. Adult Oriented Businesses

See Chapter 2, Article IX of the Development Code for regulations regarding Adult Oriented Businesses.

10. Outdoor Activities (Animal Services, Outdoor Runs (Accessory), Fitness Center, Outdoor Facilities & Activities (Accessory))

- a. In the B-1 district, outdoor facilities greater than 5,000 square feet are not permitted;

- b. Outdoor facilities shall not be located between the Primary Façade and Front Lot Line; and
- c. Outdoor facilities shall be screened from public view with an 8-foot opaque fence and double row of hedges a minimum of 3 feet in height at time of planting.

11. Conditions in B-1 (Assisted Living, Independent Senior Living, Nursing and Personal Care Facilities, Long-Term Acute Care Facility/Rehabilitation Hospital)

Each development shall have a maximum density of 25 beds per acre AND; facilities within 200 feet of a residential lot as measured from property line to property line are required to meet the following:

- a. Provide an 8-foot opaque fence along side and rear property lines;
- b. Parking lot screening shall be a 100% double row of hedges measuring 3 feet in height at time of planting; and
- c. Outdoor facilities shall be orientated away from residential lots

12. Assisted Living

Assisted Living uses must comply with the following requirements:

- a. Provide a common dining area;
- b. Provide housekeeping and transportation services to residents; and
- c. Be licensed by the state under Texas Administrative Code Ch. 92 as a Type A or Type B facility.

13. Building and Property Maintenance Services and Security

No Fleet Vehicle storage allowed.

14. Dry-Cleaning Facilities

Screening is required to minimize view of any rear door, utility door, or loading and unloading bay from any adjacent property line or right-of-way.

15. Size limitation in B-O (5,000 sq. ft.)

In the B-O district, establishments greater than 5,000 square feet are not permitted.

16. Hotels (Full, Limited, Select Service)

Moved from Article XIV - Hotels

a. Intent

The City Council has determined that establishing minimum standards for hotels protects and advances the general welfare of the community by providing for structural integrity, safety, durability, and improved maintenance of sites, and by promoting economic development by providing quality hospitality developments that support the City's businesses.

b. Definition

For hotels, Cooking Facility includes a conventional oven, convection oven, stove top burner, grill, hibachi or hotplate that does not serve an integral part of an appliance designed solely to produce coffee, sink with a 1 inch or larger in diameter drain, garbage disposal, dishwasher, counter space for cooking, preparing, or serving food, but does not include a microwave, miniature refrigerator or freezer, or coffee maker.

c. Minimum Requirements

A hotel must meet the following requirements:

- i. Guest rooms must be accessible only through interior corridors;
- ii. Entrance through exterior doors must be secured and accessible only to guests and employees;
- iii. Hotel management must be on-site 24 hours each day;
- iv. Prohibit overnight parking of trucks with more than 2 axles and recreational vehicles in the hotel's parking lot and Parking Garage, erect signs in compliance with Chapter 2308 of the Texas Occupations Code stating those vehicles will be towed from the hotel property;
- v. Except for not more than 5% of the total number of guest rooms in a Full Service Hotel, guest rooms in a hotel may not contain any Cooking Facility; and
- vi. Delivery service areas must be screened from the view of any Right-of-Way or residential area by masonry walls.

17. Independent Senior Living

Independent Senior Living uses must comply with the following requirements:

- a. Provide a common dining area that is at least 3,000 sq.ft.;

- b. Provide housekeeping and transportation services to residents;
- c. Provide physical fitness and/or wellness facilities on-site;
- d. Units must be accessible through temperature controlled interior corridors; and
- e. At least one person aged 55 or over shall reside in each unit.

18. **Outdoor Studios in B-2 (Studio, Glass or Ceramics, Studio, Metalwork, Woodwork, & Furniture (Including Repair))**

In the B-2 district, all studio activity must be conducted 100% indoors.

19. **Vehicle-Related Uses (Auto Repair Services, Minor, Car Wash)**

In all districts, Auto Repair Services, Minor must comply with the following:

- a. Facilities must be at least 200 feet from the nearest residential lot measured from the wall of the facility to the residential property line;
- b. Bays must be oriented parallel to the Front Lot Line;
- c. Outdoor speakers prohibited;
- d. Garage doors to be closed when not in operation;
- e. 100% parking lot screening measuring 3 feet in height at time of planting;
- f. Shade trees at least 4 inches in caliper must be placed every 30' along all property lines;
- g. No outside storage of vehicles, equipment, or merchandise;
- h. All service work must be conducted inside the building; and
- i. There is a 2-axle maximum size limit on facilities located in the B-2 district

20. **Gas Pumps (Accessory) and EV Charging Stations**

In all districts Gas Pumps (Accessory) or EV Charging Stations must comply with the following requirements:

- a. Canopy columns must be wrapped in a masonry finish;
- b. Canopy lighting must be recessed into the ceiling;
- c. There shall be no outside speakers at the stations, except those required by state or federal law;
- d. Canopies must consist of a pitched or mansard roof - flat roof canopies are not permitted;
- e. Outside sales or rental of products, such as those sold from a vending machine, ice machine, movie kiosk etc., are prohibited; and
- f. Gas Pumps (Accessory) or EV Charging Stations are not allowed within 200 feet of a residential use as measured from the fuel station to the nearest residential lot line.

21. **Alcohol Production, Micro with Food Sales**

Each establishment must include one or more of the following totaling at least 15% of the square footage of the enclosed space: a restaurant, tasting room, bar, or lounge.

22. **Document Shredding**

Document Shredding establishments in B-O and B-2 shall:

- a. Be located in an office building that is at least 50,000 square feet; and
- b. Not be greater than 5,000 square feet.

23. **Wholesale, Durable and Nondurable Goods**

Tire storage is not permitted outside of an enclosed building.

Section 7. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-93 to read as follows:

Sec. 2-93. - Additional Nonresidential District Regulations.

The following regulations apply:

A. General Business District (B-2).

1. *Outside Use:* Except as described below, all business activities must be conducted

within a fully-enclosed Building, and all merchandise and materials related to the business must be displayed and stored inside a permanent Building.

a. Merchandise may not be stored in or sold out of mobile or stationary containers, vehicles, or trailers, with the exception that merchandise may be temporarily stored within designated loading and unloading spaces as identified in 2-221 of the Development Code. Merchandise may be temporarily displayed or stored outside the Building on the same premises if the merchandise:

- 1) Is not located on public property or within a required Parking Space or Yard;
- 2) Is not displayed or stored outside for more than 30 consecutive days or for more than 90 days within 1 calendar year;
- 3) Is owned by the owner or lessee of the Building; and
- 4) Does not occupy a contiguous area in excess of 10% of the ground Floor Area of the Building or tenant space of the business displaying or storing the merchandise. The 10% restriction does not apply to landscaping materials for retail nurseries or lawn and garden supply stores, if displayed within a fenced area.

b. For uses classified under SIC group 55, Automotive Dealers and Service Stations, merchandise may be displayed and stored outside of a permanent building as specified in the approved Conditional Use Permit.

B. Restricted Industrial District (M-1).

1. Outside Use:

- a. All business activities must be conducted within a fully-enclosed Building.
- b. Materials or equipment not offered for sale or rent but used in the business may be stored outside of a permanent Building if the materials and equipment do not occupy a contiguous area greater than 20% of the ground Floor Area of the Building or tenant space of the business that stores the materials or equipment.
- c. Merchandise may be displayed or stored outside a permanent Building if:
 - 1) It is not located on public property or within a required Parking Space or Yard; and
 - 2) The merchandise does not occupy a contiguous area greater than 10% of the ground Floor Area of the Building or tenant space of the business displaying or storing the merchandise; and
 - a) The 10% restriction does not apply to:
 - i. Landscaping materials for retail nurseries or lawn and garden supply stores, if displayed within a fenced area; or
 - ii. Trailers and other motorized machinery and equipment offered for sale or rent if displayed on a paved surface and screened from public view as defined in Article XV of this Chapter.

2. Environmental:

- a. No use may generate any ground-transmitted vibration in excess of 0.10 inch per second measured at the Lot Line, or in excess of 0.02 inch per second measured at any residential Lot Line. These values may be multiplied by 2 for impact vibrations, i.e. discrete vibration pulsations not exceeding 1 second in duration and having a pause of at least 1 second between pulses.
- b. Heat from furnaces, processing equipment, or other devices must be contained so that the temperature of air or materials is raised no more than 5 degrees Fahrenheit as measured at all Lot Lines.
- c. Odors or fumes created by industrial processes must be contained so that no odors may be sensed at the Lot Line which exceeds the lowest amount set forth in Table III (Odor Thresholds) of Chapter 5, "Physiological Effects," in the latest edition of the Air Pollution Abatement Manual of the Manufacturing Chemists Association. For compounds not described in Table III, odor thresholds may be established by methods indicated in Chapter 5 of the manual.
- d. Additional regulations in Article XIII (Maximum Noise Standards) of this Chapter apply.

C. General Industrial District (M-2).

1. Outside Use:

- a. All business activities must be conducted within a fully-enclosed Building, except that materials and equipment used in the business may be stored outside a permanent Building.
- b. Merchandise may be displayed or stored outside a permanent Building if:
 - 1) It is not located on public property or within a required Parking Space or Yard.
 - 2) The merchandise does not occupy a contiguous area greater than 20% of the ground Floor Area of the Building or tenant space of the business displaying or storing the merchandise.
 - a) The 20% restriction does not apply to:
 - i. Landscaping materials for retail nurseries or lawn and garden supply stores, if displayed within a fenced area, or
 - ii. Trailers and other motorized machinery and equipment offered for sale or rent if displayed on a paved surface and screened from public view as defined in Article XV (Landscaping and Screening Regulations).

2. Environmental:

- a. No use may generate any ground-transmitted vibration in excess of 0.10 inch per

second measured at the Lot Line, or in excess of 0.02 inch per second measured at any residential Lot Line. These values may be multiplied by 2 for impact vibrations, i.e. discrete vibration pulsations not exceeding 1 second in duration and having a pause of at least 1 second between pulses.

- b. Heat from furnaces, processing equipment, or other devices must be contained so that the temperature of air or materials is raised no more than 5 degrees Fahrenheit as measured at all Lot Lines.
- c. Odors or fumes created by industrial processes must be contained so that no odors may be sensed at the Lot Line which exceeds the lowest amount set forth in Table III (Odor Thresholds) of Chapter 5, "Physiological Effects," in the latest edition of the Air Pollution Abatement Manual of the Manufacturing Chemists Association. For compounds not described in Table III, odor

Section 8. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-118 to read as follows:

Sec. 2-118. District Regulations

A. Regulations for Nonresidential, Multi-Family and Mixed-Use Development.

The following bulk regulations apply to all Nonresidential, Multi-family, and Mixed-Use sites in the Lake Pointe Redevelopment District:

Table 2-118.1: Bulk Regulations for Nonresidential, Multi-Family and Mixed-Use Development	
Description	Regulation
Setbacks	
Front, minimum/maximum	0/5 feet (a)
Street side, minimum/maximum	0/5 feet (a)
Interior side, minimum	0 feet (b)
Rear, minimum	5 feet (b)
Other	
Building height, max	(c)
Building street frontage, minimum	See Sec 2-121.C

REFERENCES

- a. Front and Street Side
 - i. Shall be measured from the back of the Pedestrian Realm.
 - ii. If an easement is present, 75% of the building face shall be built to the easement line.
- b. Measured from the property line.
- c. Airport Height Hazard Regulations apply.

B. Regulations for Middle Housing Development.

The following bulk regulations apply to Middle Housing sites in the Lake Pointe Redevelopment District. See **Figures 2-118.A.1 – 2-118.A.4.** for detail.

Table 2-118-2: Bulk Regulations for Middle Housing Development		
Description	Regulation	
Setbacks		
Front, minimum/maximum	5/20 feet (a)	
Street side, minimum/maximum	5/20 feet (a)	
Interior Side, min	Dwelling, Single Family Attached (Townhome)	(b)
	Dwelling, Two-Family (Duplex)	3 feet
	Dwelling, Urban Home	(c)
	Dwelling, Multiplex	5 feet
Rear, minimum	5 feet (d)	
Other		
Building height, maximum	4 stories but not more than 50 feet	
Density, minimum	10 Dwelling Units per gross acre	
Dwelling, Urban Home Maximum Lot Width	40 feet	

REFERENCES

- a. Front and Street Side
 - i. For lots fronting on a Street, the Front Yard setback shall be measured from the back of the Pedestrian Realm.
 - ii. If an easement is present, 75% of the building face shall be built to the easement line.
- b. Townhome attached on 2 sides - 0 feet. Townhome attached on 1 side and other side yard open - 3 feet.
- c. Three feet on each side or zero feet on one side and 6 feet on second side. Zero-foot side must abut required 6-foot Yard on adjacent lot. A 3-foot maintenance easement adjacent to the lot line and within the 6-foot side yard shall be delineated on the plat, and there shall be a right to access the 0-foot building line side from the maintenance easement for maintenance purposes.
- d. Rear, minimum shall be as follows:
 - i. For rear-loading lots, Rear Yard setback shall be measured from the edge of alley or private drive pavement.

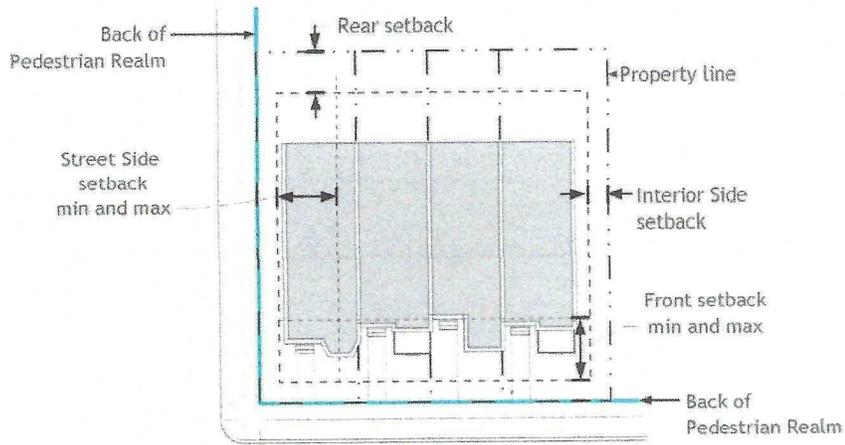


Figure 2-118.A.1: Setbacks – Single-Family Attached

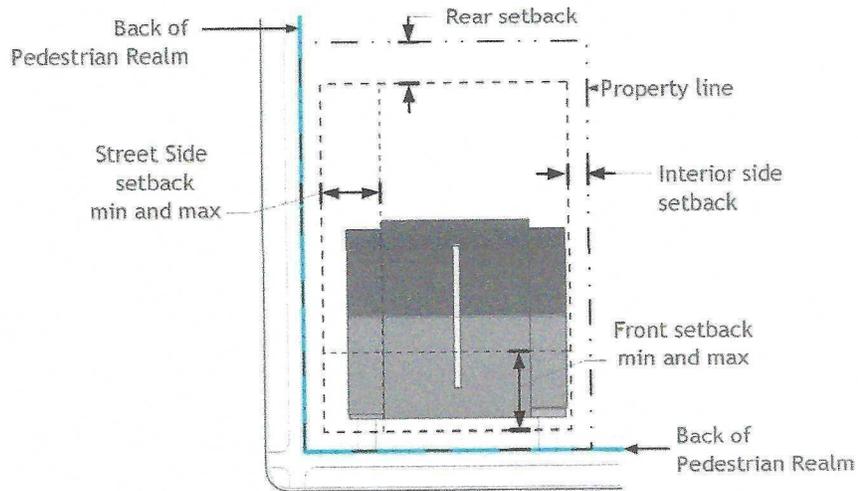


Figure 2-118.A.2: Setbacks – Two-Family (Duplex)

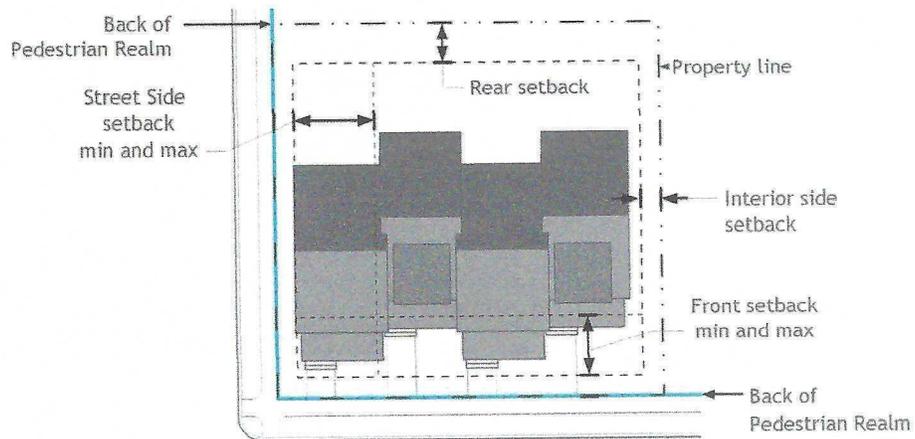


Figure 2-118.A.3: Setbacks – Triplex, Quadplex and Sixplex

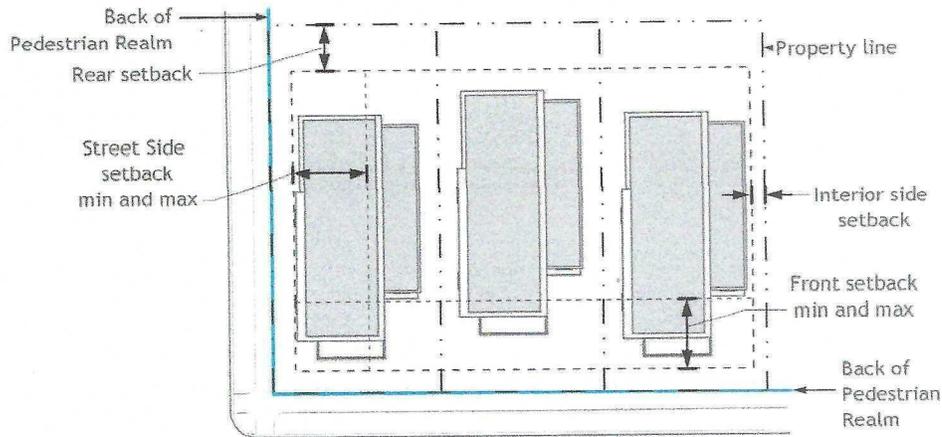


Figure 2-118.A.4: Setbacks – Urban Home Dwelling

Section 9. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-119 to read as follows:

Sec. 2-119. Lot Layout and Site Design Regulations

A. Street Layout

1. Block Length

At least 70% of block faces within the Lake Pointe Redevelopment District must range between a minimum of 200 feet and a maximum of 600 feet.

2. Pedestrian Realm

- a. As illustrated in **Figure 2-119.A: Pedestrian Realm**, a Pedestrian Realm must be provided along Streets and shall consist of two zones: a Clear Zone (sidewalk) and a Pedestrian Enhancement Zone. The Clear Zone is intended to provide a clear path of travel for pedestrian movement and the Pedestrian Enhancement Zone is intended for the placement of street trees, street furniture and other fixtures in a manner that does not obstruct pedestrian access or motorist visibility.

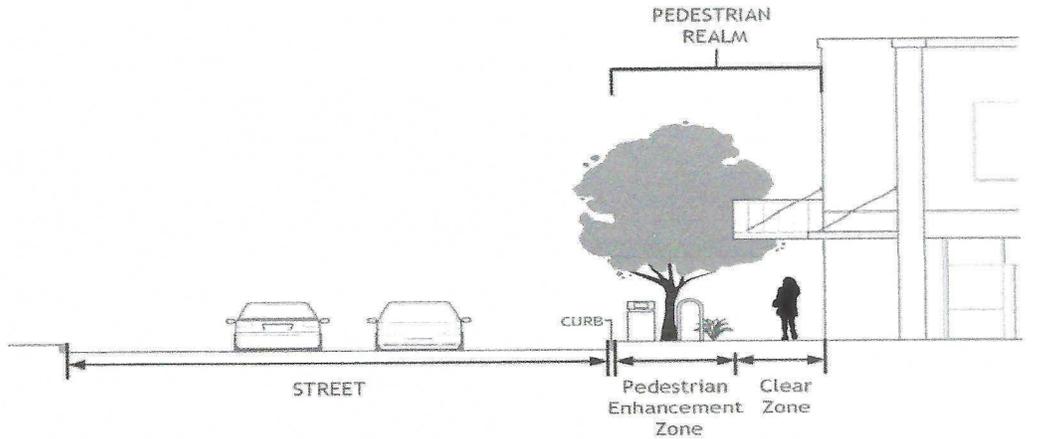


Figure 2-119.A: Pedestrian Realm

b. The following standards shall apply to these zones:

Table 2-119.1: Pedestrian Realm Requirements by Roadway Classification

Roadway Classification (a)	Minimum Clear Zone Width	Minimum Pedestrian Enhancement Zone Width
Type 1 Streets: Major Collector/ Minor Collector	8 feet	8 feet
Type 2 Streets: Local Street/Primary Access Easement	10 feet	8 feet (b)

REFERENCES

- a. As identified and defined in the City of Sugar Land Master Thoroughfare Plan.
- b. Type 2 Streets adjacent to Middle Housing developments shall have a minimum Clear Zone width of 5 feet.

- c. Sections of the Clear Zone may be reduced for temporary or permanent outdoor dining or other pedestrian amenities such as seating for a length of no more than 75 continuous feet, but a 5-foot clear space must be maintained at all times.
- d. The Clear Zone may be covered by Awnings, Canopies, or other shade structures to protect pedestrians from inclement weather.
- e. On-street parking may be permitted within the Pedestrian Enhancement Zone along Type 2 Streets. Additional standards are located in the Design Standards.
- f. Enhancements required within the Public Realm are described in Section 2-120: Pedestrian Realm Enhancements.

B. Connectivity

1. General

- a. All public streets, roads, trails, and rights-of-way shall be consistent with the adopted Mobility Master Plan (Master Thoroughfare Plan).

2. Driveways

- a. Driveways shall be located at least 50 feet from any intersecting Street right-of-way.
- b. Driveways shall be located at least 50 feet from driveways on an adjacent property, except where one shared access point and driveway can be established to serve both the subject property and the adjacent property on the other side of that property line. Driveways that serve Middle Housing and connect to alleys or private drives are exempt from the minimum 50-foot separation requirement.
- c. Primary circulation and access points shall be oriented toward the abutting street with the lowest traffic volume, unless the Director approves an alternative due to pedestrian, bicycle, or traffic safety concerns.
- d. To facilitate vehicular, pedestrian, and bicycle cross access between abutting sites, encourage shared parking, and minimize access points along streets, sites shall comply with the following standards:
 - (1) The internal circulation system shall be designed to allow for cross-access between sites.
 - (2) Required vehicular cross access between the abutting lots shall be provided through the use of a single two-way driveway or drive aisle, or two one-way driveways or aisles that are sufficiently wide to accommodate traffic by automobiles, service vehicles, loading vehicles, and emergency vehicles.
 - (3) The Director may waive or modify the requirement for cross access if the requirement would:
 - i. Create unsafe conditions; or
 - ii. Impede the application of other design requirements in the Development Code.

C. Parking Location, Size, and Pedestrian Connectivity

1. On-Street Parking Location.

Angled, perpendicular, or parallel parking that is designed to function as on-street parking must meet the following two conditions:

- a. The parking must not adversely affect public safety or circulation; and
- b. Each parking space must be located adjacent to and be directly accessible from a Street.

2. Parking Lot Location

- a. Parking Lots shall be located to the side or rear of the Primary Façade. See **Figure 2-119.B: Parking Lot Location**.
- b. Parking Lots, loading, and service areas must be designed to minimize impacts on adjacent residences. They shall be located away from shared property lines and screened from neighboring residences.

3. Parking Lot Size

- a. Sites with more than 50 Multi-Family units must be served by Structured Parking and may not have Parking Lots that exceed 15% of the total site area.
- b. For all other sites, Parking Lots shall not exceed 40% of the site's total area.
- c. The Director may approve of a Parking Lot that exceeds the maximum Parking Lot size requirements above if the Parking Lot serves multiple sites.

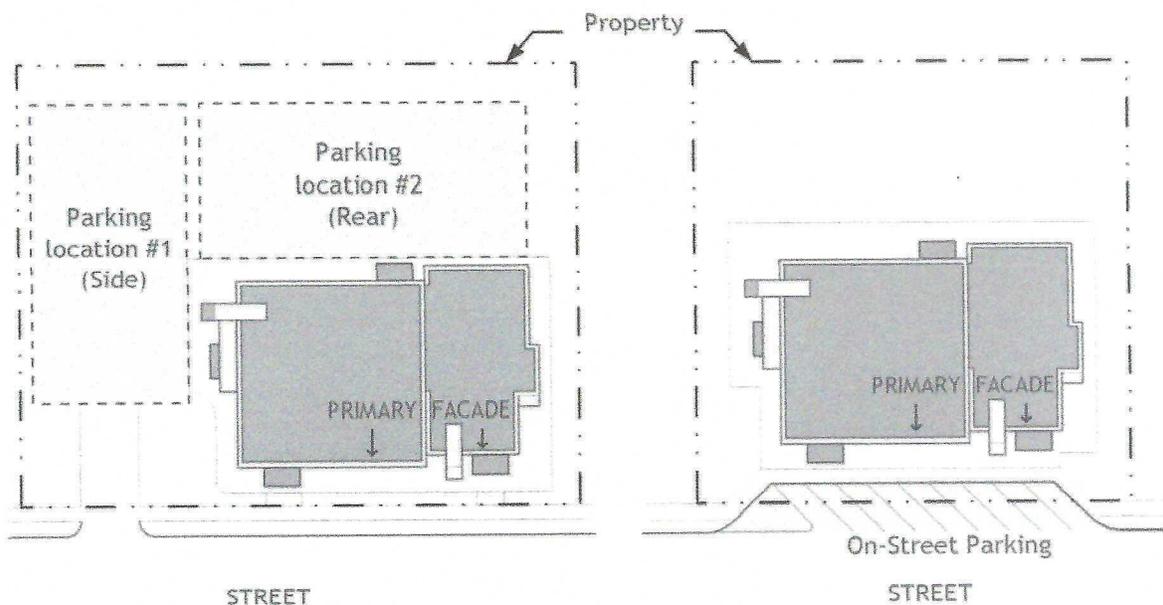


Figure 2-119.B: Parking Lot Location

4. Pedestrian Walkways in Parking Lots

- a. All sites with Parking Lots containing 7 or more parking spaces shall provide an on-site system of pedestrian walkways that provide direct access and connections to and between the following elements.

- (1) The Primary Entrance or Entrances to each building, including pad-site buildings;
 - (2) Any sidewalks, walkways, or multi-use paths on adjacent properties that extend to the boundaries shared with the site;
 - (3) Any Parking Lots intended to serve the site;
 - (4) Any sidewalk system along the perimeter Streets adjacent to the site;
 - (5) Any public transit station areas, transit stops, park and ride facilities, or other transit facilities on-site or along an adjacent Street; and
 - (6) Any adjacent or on-site public park, trail system, open space, greenway, or other public or Civic Space or amenity.
- b. As shown in **Figure 2-119.C: Pedestrian Walkways in Parking Lots**, Pedestrian walkways required above shall:
- (1) Be a minimum of 5 feet wide;
 - (2) Be distinguishable from areas used by vehicles in one or more of the following ways:
 - (i) Varying surfacing material, patterns, and/or paving color, but not including the painting of the paving material;
 - (ii) Varying paving height;
 - (iii) Decorative bollards; or
 - (iv) Raised median walkways with landscaped buffers;

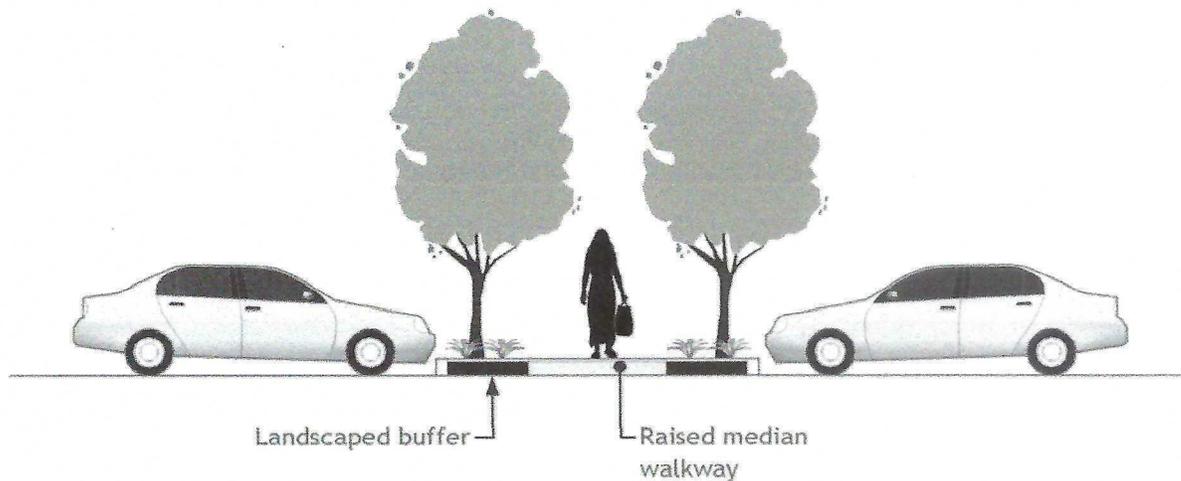


Figure 2-119.C: Pedestrian Walkways in Parking Lots

- (3) Be designed with similar and/or complementary details, colors, and finishes as other interconnected walkways;
- (4) Have adequate lighting for security and safety;
- (5) Be conveniently and centrally located on the subject property;
- (6) Be ADA-accessible; and
- (7) Not include barriers that limit pedestrian access between the subject property and required connections to adjacent properties.

D. Pedestrian Connectivity

Building façades that are longer than 400 feet in length must provide a midblock pedestrian connection through the building, as shown in **Figure 2-119.D: Midblock Pedestrian Connection**.

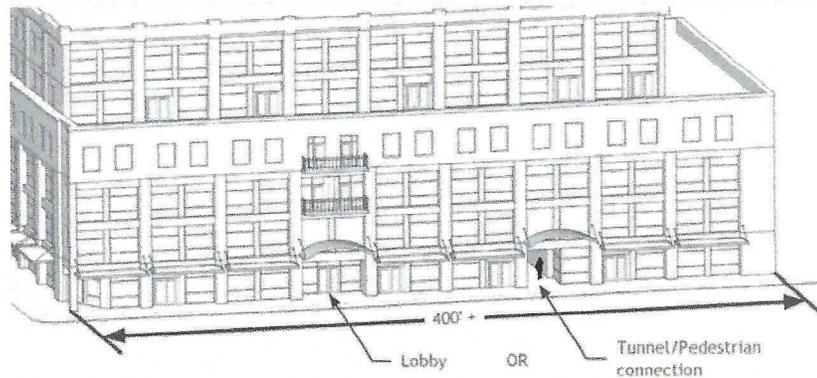


Figure 2-119.D: Midblock Pedestrian Connection

E. Private Garages and Surface Parking for Middle Housing.

1. Garages shall be located behind dwelling units and accessed by alleys or private drives.
2. Garages shall be setback a minimum of 5 feet from an alley or private drive. Any additional setback beyond 5 feet must be at least 18 feet from the edge of the alley/private drive. See **Figure 2-119.E: Rear Loading Garage Setback**.

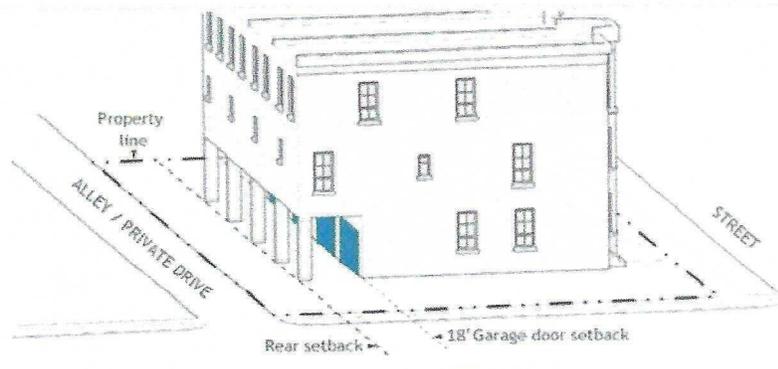


Figure 2-119.E: Rear Loading Garage Setback

3. Parking shall be designed to limit curb cuts and most efficiently park vehicles.
4. Parking may take place on a shared, paved Parking Lot or in shared driveways.

Section 10. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-122 to read as follows:

Sec 2-122. Building Design – Middle Housing Development

A. Building Orientation and Entrances

1. Buildings shall be oriented so that the Primary Facade faces and provides pedestrian access to a Street, Civic Space, or Mew. Mews shall be a minimum of 15 feet wide, measured from property line to property line, and include a 5-foot- wide paved walkway that connects and provides pedestrian access from each Dwelling Unit to a Street or Civic Space.
2. The orientation of the Primary Entrance and façade of residential dwellings shall be consistent with the established pattern along the block face.
3. No residential structure shall be sited diagonally or otherwise skewed on the lot.

B. Building Form

1. Building Mass

Exterior walls shall be broken up to prevent the appearance of featureless walls using recessed entryways, bay windows, use of more than one exterior finish material, use of architectural details, or such other technique or combinations of techniques.

2. 360-Degree Architecture

Those sides of a building that are not visible from the street frontage shall have a finished façade that is similar to the visible façades in terms of materials and architectural detailing.

C. Building Transparency

At least 15 percent of the area of Street-facing façades shall be windows or doors.

Section 11. That Chapter 2, Article II of the Land Development Code is revised by amending Table 2-123.1 to add “wine bar” as a permitted retail use, as follows:

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Residential				
Dwelling, Live/Work	P (N)	A building that contains 1 or more Dwelling Units that maintain integrated living and working space in different areas of the unit, either horizontally or vertically stacked.	2: Dwelling Unit	1
Dwelling, Multiplex	P (N)	A building on 1 platted lot that contains 3 to 6 Dwelling Units either horizontally or vertically stacked.	1: 3 Dwelling Units PLUS 1.5: One Bedroom Unit and 2: Two or More Bedroom Units	2
Dwelling, Multi-Family	P (N)	7 or more Dwelling Units within a building on 1 platted lot.	1: 5 Dwelling Units PLUS 1.5: One Bedroom Unit and 2: Two or More Bedroom Units	2, 3
Dwelling, Single-Family Attached (Townhome)	P (N)	A building that contains Dwelling Units located on separately platted lots that are joined to other Dwelling Units on 1 or both sides by a common wall that is located along the side lot line and separates the individual Dwelling Units, commonly referred to as a townhouse.	1: 5 Dwelling Units PLUS 1.5: One Bedroom Unit and 2: Two or More Bedroom Units	2
Dwelling, Two-Family (Duplex)	P (N)	A building on 1 platted lot that contains only 2 Dwelling Units, either horizontally or vertically stacked, and has open space on all sides of the building, commonly referred to as a duplex.	2: Dwelling Unit	2
Dwelling, Urban Home	P (N)	A building that contains only 1 Dwelling Unit and is larger in height than in width and located on a lot no wider than 40 feet, commonly referred to as a detached townhome.	2: Dwelling Unit	2

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Child Care Home (≤6 Children)	P	A dwelling where state-licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than 6 children at one time, including children of the adult provider, for less than 24 hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	
Child Care Home (≥7 Children)	C	A dwelling where state licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than 12 children at one time, including children of the adult provider, for less than 24 hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	
Community Home	P	A dwelling for not more than 6 persons with disabilities and 2 supervisors and is licensed under and complies with Chapter 123 of the Texas Human Resources Code.	2: Dwelling Unit	
Institutional				
Library	P	A public facility that allows the view and check out of books, videos, and other literature.	1:300 sq.ft.	
Museums and Art Galleries	P	A building serving as a repository for a collection of natural, scientific, artistic, or literary objects of interest, and designed to be used for viewing, with or without an admission charge, and that may include the sale of goods and novelties as an accessory use.	1:300 sq.ft.	
Parks and Recreational Facilities	P	An area developed for active play and recreation that may include, but is not limited to, open space, sports courts, play equipment, trails, restrooms, and maintenance structures. The area may be owned by a public entity and used to provide recreational activities to the general public; or the area may be owned by a private, nonprofit, or homeowner's association and used to provide recreational activities to the members of the association.	1:100 sq.ft. of Indoor Facilities Plus 1:4 Persons Design Capacity of Outdoor Facilities (Including Both Participants and Spectators as Applicable)	
School, College, and University	P	An institution established for educational purposes offering courses for study beyond the secondary education level. Dormitories for students and employees	The applicant shall provide parking analysis for the proposed	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
		only are permitted in conjunction with these uses.	development and parking estimate shall be approved by the Director of Planning.	
School, Vocational	P (N)	Trade schools and commercial schools offering training or instruction in a trade, art, or occupation.	1:100 sq.ft. of Classroom Space Plus 1:300 sq.ft. for Workshop or Instructional Space	4
Office				
Professional Office, Neighborhood	P	An establishment for the provision of executive, management, or administrative services in an office setting in a building less than or equal to 20,000 sq.ft. Examples may include offices of accountants, engineers, bookkeepers, attorneys, insurance, consultants, city planners.	1:250 sq.ft.	
Professional Office, Regional	P	An establishment for the provision of executive, management, or administrative services in an office setting in a building greater than 20,000 sq.ft. Examples may include offices of accountants, engineers, bookkeepers, attorneys, insurance, consultants, city planners.	1:250 sq.ft.	
Retail				
Bar	P	A facility that derives more than 50% of its revenue from the sale of alcohol beverages for consumption on the premises where the same are sold.	1:200 sq.ft.	
Furniture and Home Furnishings Store	P (N)	A business that engages in the sale of household furniture, decorations, and related consumer goods.	1:300 sq.ft.	4
Grocery, Convenience Store	P	A retail establishment that sells food and other consumable and non-consumable products for off-premise use or consumption that is 6,000 sq.ft. or less.	1:200 sq.ft.	
Grocery, Market	P	A retail establishment primarily selling prepackaged and perishable food as well as other convenience and household goods that is 30,000 sq.ft. or less.	1:200 sq.ft.	
Grocery, Supermarket	P	A retail establishment primarily selling prepackaged and perishable food as well as other convenience and household goods that is greater than 30,000 sq.ft.	1:200 sq.ft.	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Liquor Store	P(N)	A retail establishment primarily engaged in selling beer, wine, and other alcoholic beverages. Establishments may specialize in a particular type of alcoholic beverage.	1:200 sq.ft.	4
Pharmacy without Drive-Thru	P	An establishment engaged in the retail sale of prescription drugs, nonprescription medicines, cosmetics, and related merchandise.	1:200 sq.ft.	
Restaurant, With No Drive-In or Drive-Thru Service	P	An establishment that prepares and sells food and beverages for immediate consumption, including cafes, coffee shops, sandwich shops, ice cream parlors, take-out, and similar uses.	1:50 sq.ft. of Public Seating and Waiting Area (Including Outdoor Areas for Seating and Waiting) PLUS 1:200 sq.ft. of the remainder of the building.	
Retail, Neighborhood	P	Retail establishments, under 25,000 sq.ft., engaged in the sale of a variety of products including items such as clothing, shoes, flowers, books, gifts, jewelry, sporting goods, crafts, and other items not elsewhere classified.	1:200 sq.ft.	
Retail, Regional (Department or Big Box Store)	P	A retail establishment, 25,000 sq.ft. or greater, selling a variety of goods, such as clothing, shoes, home goods, sporting goods, and other items which are arranged into departments.	1:200 sq.ft.	
Wine Bar	P	An establishment primarily engaged in selling wine for consumption on and off the premises and which possesses a Wine and Malt Beverage Retailer's Permit (BG) from the state of Texas.	1:200 sq.ft.	

Services

Adult Day-Care	P	<p>A group program that is licensed by the State of Texas and designed to meet the needs of four or more functionally and/or cognitively impaired adults through an individual plan of care. These structured, comprehensive programs provide a variety of health, social, and other related support services in a protective setting during any part of a day, but less than 24- hour care. Adult day care services are dedicated to keeping adults needing assistance healthy, independent, and non-institutionalized. Adult day centers generally operate programs during normal business hours five days a week. Some programs offer services in the evenings and on weekends.</p>	1:200 sq.ft.	
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Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Animal Services, Boarding/Day Care	P	A facility for the overnight boarding or day care of small animals such as dogs, cats, birds, small reptiles, and other similar household animals.	1:300 sq.ft.	4
Animal Services, Outdoor Runs (Accessory)	P	Fenced outdoor facilities for small animals. This use is an accessory only in association with an approved Animal Services, Small Animals or Animal Services, Boarding/Day Care use.	No Additional Parking Required	
Animal Services, Small Animals	P	A facility for the medical or surgical treatment, grooming, or other veterinary services for small animals such as dogs, cats, birds, small reptiles, and other similar household animals. Overnight stays are primarily for those required after a surgical procedure for a household pet.	1:300 sq.ft.	
Assembly Facility, Banquet/Event Center	P	A building, facility, room, or portion thereof, which is rented, leased or otherwise made available to any person or group for a private event function, that is not open to the general public, whether or not a fee is charged. This use also includes meeting halls for civic organizations or social groups. This definition does not include assembly facilities associated with and on the same campus as a Place of Worship.	1:100 sq.ft.	
Child Care Facility, Daycare	P	An establishment, other than a public or private school, providing care, training, education, custody, treatment or supervision for 7 or more children for less than 24 hours a day at a location other than the permit holder's home. A state license is required.	1:300 sq.ft.	
Cleaning, Dry Cleaners Pick-Up & Drop-Off without Drive-Thru	P (N)	An establishment that accepts clothing to be laundered, dry cleaned, dyed, or pressed. Laundering and pressing is permitted on site. Dry cleaning, dyeing, and other processes involving the use of solvents are prohibited on-site.	1:200 sq.ft.	6
Clinic, Medical, Dental or Therapist	P	An institution, public or private, for the examination, evaluation, and treatment of out-patients by an individual or group of doctors, dentists, or other licensed members of a human health care profession, such as speech, physical, or occupational therapists, chiropractors, and dieticians.	1:200 sq.ft.	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Commercial Amusement, Indoor	P	<p>An amusement enterprise offering entertainment or games of skill to the general public for a fee or charge, wherein all portions of the activity takes place indoors, including, but not limited to: bowling alley, billiard/pool facility, miniature golf course, gun range/archery range, roller/ice skating rink, racquetball/handball club, indoor tennis courts/club, indoor swimming pool or scuba diving facility, video arcade, indoor trampoline park/bouncy park, fortune telling, card reading, illusionists, magicians and puzzle-solving games.</p>	<p>Bowling Alley: 4: each bowling lane; Billiard/Pool Facility: 2: pool table; Indoor Miniature Golf Course: 1:200 sq.ft. for indoor, plus 1½: hole; Gun Range/Archery Range: 1:200 sq.ft. of indoor facilities, plus 1: lane; Roller/Ice Skating Rink: 1:150 sq.ft. of rink area; Indoor Game Courts: 3: court; Video Arcade: 1:200 sq.ft., plus 1:3 persons that the facility is designed to accommodate at maximum capacity; Indoor Trampoline/Bouncy Park: 1:200 sq. ft. Other Uses: 1:200 sq.ft.</p>	
Commercial Amusement, Outdoor	P	<p>A commercially operated enterprise offering entertainment or games of skill to the general public for a fee or charge, wherein any portion of the activity takes place outdoors, including, but not limited to, miniature golf course, amusement park, golf driving range, archery range, batting cages, go-cart track, sports field, and swimming pool/waterpark. Gun ranges are classified as Commercial Amusement, Indoor.</p>	<p>Parking: Miniature Golf Course: 1:200 sq.ft. of indoor facilities, plus 1½:hole; Golf Driving Range/Archery Range: 1:200 sq.ft. of indoor facilities, plus 1:lane or skeet field; Amusement Park: 1:3 persons that the facilities are designed to accommodate at maximum capacity; Go-Cart Tracks/Sports Fields/Swimming Pool: 1:100 sq.ft. of</p>	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
			Indoor facilities, plus 1:4 persons design capacity of outdoor facilities, including both participants and spectators as applicable; Other Uses: 1:200 sq.ft.	
Concert or Performance Hall	P	A building devoted to the showing of musical or live performances including rehearsal space.	1:500 sq.ft.	
Concierge Medical Care	P	A business engaged in medical care of clients for an annual or monthly fee with a limited number of clients. Doctors in this industry may conduct business in an office or visit patients at home. The concierge medical facility may not exceed 2,500 sq.ft.; a larger facility is classified under Clinic.	1:250 sq.ft.	
Counseling and Therapy Services	P	An establishment providing treatment on an outpatient basis for mental health and wellness issues (without the use of drugs) including individual, marital, and family counseling by one or more licensed therapists, counselors, and/or clinical social workers.	1:250 sq.ft.	
Financial Institution without Drive-Thru	P	A banking establishment without drive- thru facilities, open to the public, for the deposit, custody, loan, exchange or issue of money, the extension of credit, and facilitating the transmission of funds. Excludes pawnshops, check cashing businesses, payday advance/loan businesses, car title loan businesses and bail bonds.	1:250 sq.ft.	
Fitness Center	P	An establishment engaged in providing indoor fitness instruction such as yoga, Pilates, martial arts, Zumba, kickboxing, boot camp, swimming instruction, etc. t. See Fitness Center, Outdoor Facilities & Activities (Accessory) for any outdoor facilities or activities.	1:200 sq.ft.	
Fitness Center, Outdoor Facilities & Activities (Accessory)	P	An accessory use only permitted in conjunction with and on the premises of a Fitness Center use. Permitted accessory uses include outdoor fitness facilities, outdoor ball courts, outdoor swimming pools, or outdoor fitness classes.	No Additional Parking Required unless determined necessary by the Director of Planning	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Hotel, Full Service	P(N)	<p>A hotel with guest rooms offered at nightly rates only, and that contains and offers the following amenities:</p> <ol style="list-style-type: none"> 1. A minimum of 10,000 square feet of dedicated meeting and event facilities; 2. Full-menu room service; 3. Fitness center; 4. Swimming pool; 5. Restaurant accessible through the interior of the hotel that offers a full- menu, table service, and seating for at least 50 patrons during standard dining hours; and 6. Lounge area containing a counter, tables, or seating areawhere alcoholic beverages are sold for consumption in that area. 	<p>1: Guest Room PLUS 1:200 sq.ft. for Meeting Room/ Restaurant</p>	7
Hotel, Select Service	P(N)	<p>A hotel with guest rooms offered at nightly rates only, and that contains and offers the following amenities:</p> <ol style="list-style-type: none"> 1. A minimum of 3,000 square feet of dedicated meeting and event facilities; 2. A restaurant or bar accessible through the interior of the hotel with seating for at least 30 patrons; 3. An outdoor activity area of no less than 2,000 square feet; 4. Swimming pool; and 5. Fitness center. 	<p>1: Guest Room PLUS 1:200 sq.ft. for Meeting Room/ Restaurant</p>	7
Individual and Family Social Services	P	<p>Establishments engaged in providing one or more of a variety of individual and family social, counseling, welfare, or referral services, including refugee, disaster, and temporary relief services.</p>	1:250 sq.ft.	
Medical and Dental Laboratory	P	<p>A facility in which medical tests are conducted on specimen, body fluids, tissues, such as blood analysis, molecular diagnostics, forensic toxicology testing; or dentures, artificial teeth, and orthodontic appliances are made to order for the dental profession.</p>	1:300 sq.ft.	
Movie Theater	P	<p>A building or portion of a building devoted primarily to the showing of movies or motion pictures and including the sale of concessions to theater patrons.</p>	1:4Seats	
Other Educational Services	P	<p>Educational establishments, other than elementary and secondary schools, providing instruction in a classroom</p>	1:300 sq.ft.	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
		setting with a specific set of curricula including tutoring, music schools, language school, and similar establishments as well as educational testing centers.		
Other Health Services	P	Establishments engaged in a variety of other outpatient health services not otherwise specified including dialysis centers, blood donations, and other non- surgical outpatient services.	1:300 sq.ft.	
Permanent Makeup	P	An establishment that practices placing of marks upon or under the skin of any person, using ink or other substances that result in the permanent coloration of the facial skin by means of the use of needles or other instruments designed to contact or puncture the skin to produce designs that resemble makeup such as eyebrows, eyeliner, lips, and other permanent enhancing colors.	1:200 sq.ft.	
Personal Services	P	An establishment engaged in the provision of informational, instructional, personal improvement, personal care, and similar services, such as portrait shops, photography studios, art and music schools, driving schools, print shops, handicraft/art or hobby instruction, salons, spas and barber shops, household and personal goods repair, and tailor/ alterations shops.	1:200 sq ft.	
Place of Worship	P	A building for regular assembly for religious public worship that is used primarily for and designed for such purpose such as a church, synagogue, mosque or similar, along with accessory activities that are customarily associated therewith, such as a place of residence for clergy on the premises, and that is tax exempt as defined by State law.	With Fixed Seating: 1:3 Seats in the Main Assembly Area OR Without Fixed Seating: 1:75 sq.ft. in the Main Assembly Area	
Research, Life Sciences and Healthcare	P	An establishment engaged in research concerning biology, microbiology, biochemistry, other life sciences, and general healthcare such as agricultural research, food research, pharmaceutical research, oceanographers, biotechnical research, and other related life science and healthcare research.	1:300 sq.ft.	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Research & Technology Development	P	An establishment which conducts scientific research, including development, testing or controlled production of high-technology electronic, industrial, or scientific such as computer software, electronic components, electronic research, instrument analysis, robotics, optical equipment, and other related services.	1:300 sq.ft.	
Senior Living, Independent (55+)	P(N)	An establishment providing dwelling units specifically designed for the needs of people 55 and over. In addition to housing, this type of facility provides convenience services, such as meals, housekeeping and transportation, and community facilities, such as central dining rooms and activity rooms.	2:Dwelling Unit	2, 8
Senior Living, Transitional Care	P(N)	Any combination of Independent, Senior Living, Assisted Living, and Nursing and Personal Care Facility.	For Independent and Assisted Living - 2:Dwelling Unit For Nursing and Personal Care Facility - 1:2 Resident Occupants (at maximum capacity of facility)	2, 5, 8
Studio, Glass or Ceramics	P	An establishment primarily used for an artisan workshop to make or manipulate glass or ceramic products.	1:500 sq.ft.	
Studio, Metalwork, Woodwork, & Furniture (Including Repair)	P	An establishment primarily used for an artisan workshop dedicated to metal work, woodworking, or furniture making. Activities include but are not limited to forging individual pieces of metal, welding services, blacksmithing, creating works of art using metal, carving wood, assembling pieces together, furniture upholstery and repair, or finishing wooden pieces. Activities may also include repair that utilizes welding.	1:500 sq.ft.	

Table 2-123.1: Permitted Uses and Parking Schedule for Lake Pointe Redevelopment District

Land Use	LPR	Definition	Parking	Notes
Vehicle-Related				
Parking, Facility	P(N)	A parking facility that provides parking spaces for vehicles less than 1-ton capacity for a fee or free.	No Additional Parking Required	9
Industrial				
Microbreweries	P(N)	A facility with 30,000 sq.ft. or less of enclosed space, where beer, wine, or other alcoholic beverages are brewed, fermented, or distilled for distribution and consumption, which possess the Brewpub(BP) license from the State of Texas and which follows all TABC requirements from the State of Texas.	1:500 sq.ft. of Production Area and Office PLUS 1:100 sq.ft. of Taproom, Lounge, and Dining Area, of Both Indoor and Outdoor Seating	10

Supplemental Regulations

1. Dwelling, Live/Work

Non-residential uses in a Live/Work dwelling are limited to the first floor of the dwelling.

2. Home Occupation

A Home Occupation is only permitted as an Accessory Use in a residential Dwelling Unit if it meets the following conditions:

- a. It does not depend on the employment of a person who does not reside in the residence;
- b. A separate entrance is not provided for the conduct of the occupation;
- c. An alteration is not made in the Dwelling Unit that changes its character as a Dwelling Unit;
- d. It does not use outdoor storage;
- e. A Sign advertising the Home Occupation is not located on the Premises;
- f. It does not require the delivery or shipment of merchandise, goods, or equipment by other than passenger motor vehicles, ¾ ton step-up van or similar sized trucks;
- g. It does not create or cause any perceptible noise, odor, smoke, electrical interference or vibrations to emanate from the Premises; and
- h. It is conducted so that it does not create parking or traffic congestion or otherwise place an undue burden on the abutting or adjoining neighbors or the immediate neighborhood.

3. Multi-Family Dwelling

- a. All Multi-Family Dwellings shall meet the additional criteria in Sec. 2-121.H.
- b. Number of Units shall not exceed the maximum number of units in the Lake Pointe Regional Activity Center as identified in the Comprehensive Plan.

4. Size Limitation (30,000 sq. ft.)

Uses are not allowed to occupy a space larger than 30,000 square feet.

5. Assisted Living

Assisted Living uses must comply with the following requirements:

- a. Provide a common dining area;
- b. Provide housekeeping and transportation services to residents; and
- c. Be licensed by the state under Texas Administrative Code Ch. 92 as a Type A or Type B facility.

6. Dry-Cleaning Facilities

Screening is required to minimize view of any rear door, utility door, or loading and unloading bay from any adjacent property line or right-of-way.

7. Hotels (Full or Select Service)

a. Intent

The City Council has determined that establishing minimum standards for hotels protects and advances the general welfare of the community by providing for structural integrity, safety, durability, and improved maintenance of sites, and by promoting economic development by providing quality hospitality developments that support the City's businesses.

b. Definition

For hotels, Cooking Facility includes a conventional oven, convection oven, stove top burner, grill, hibachi or hotplate that does not serve an integral part of an appliance designed solely to produce coffee, sink with a 1 inch or larger in diameter drain, garbage disposal, dishwasher, counter space for cooking, preparing, or serving food, but does not include a microwave, miniature refrigerator or freezer, or coffee maker.

c. Minimum Requirements

A hotel must meet the following requirements:

- i. Guest rooms must be accessible only through interior corridors;
- ii. Entrance through exterior doors must be secured and accessible only to guests and employees;
- iii. Hotel management must be on-site 24 hours each day;
- iv. Prohibit overnight parking of trucks with more than 2 axles and recreational vehicles in the hotel's Parking Lot and Parking Garage, erect signs in compliance with Chapter 2308 of the Texas Occupations Code stating those vehicles will be towed from the hotel property;
- v. Except for not more than 5% of the total number of guest rooms in a Full Service Hotel, guest rooms in a hotel may not contain any Cooking Facility; and
- vi. Delivery service areas must be screened from the view of any Right-of-Way or residential area by masonry walls.

8. Independent Senior Living

Independent Senior Living uses must comply with the following requirements:

- a. Provide a common dining area that is at least 3,000 sq. ft.;
- b. Provide housekeeping and transportation services to residents;
- c. Provide physical fitness and/or wellness facilities on-site;
- d. Units must be accessible through temperature controlled interior corridors; and
- e. At least one person aged 55 or over shall reside in each unit.

9. Parking, Facility

Parking Facilities are limited to parking garages. Standalone surface Parking Lots are not permitted.

10. Microbreweries

Each establishment must include one or more of the following totaling at least 15% of the square footage of the enclosed space: a restaurant, tasting room, bar, or lounge.

Section 12. That Chapter 2, Article II of the Land Development Code is revised by amending Section 2-157 to read as follows:

Sec. 2-157. - Permitted Uses and Parking Schedule.

Table 2-157.1: Permitted Uses and Parking Schedule

See Section 2-55. for the Key to Permitted Uses and Parking Schedule Tables.

P = Permitted Use C = Conditional Use

Blank Box = Prohibited Use

P(N) or C(N) = Permitted Use or Conditional Use with Supplemental Regulations - See Notes

* = Residential Proximity Conditional Use, See Section 2-55 G

Land Use	HR-1	Definition	Parking	Notes
Residential				
Child Care Home (≤6 Children)	P	A dwelling where state licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than six (6) children at one time, including children of the adult provider, for less than twenty-four (24) hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	
Child Care Home (≥7 Children)	C	A dwelling where state licensed care, protection, and supervision are provided, for a fee, at least twice a week to no more than twelve (12) children at one time, including children of the adult provider, for less than twenty-four (24) hours per day, and in accordance with the requirements of Texas Administrative Code, Title 40, Part 19.	2: Dwelling Unit	
Clergy House, Monastery, or Convent	C	A dwelling where four (4) or more unrelated employees of a Place of Worship, such as religious leaders or those studying worship, live; which is located on a separate platted lot than the associated Place of Worship; and that is tax exempt as defined by State law.	1: Resident (Minimum of 4 Spaces Required)	
Community Home	P	A dwelling for not more than six (6) persons with disabilities and two (2) supervisors and is licensed under and complies with Chapter 123 of the Texas Human Resources Code.	2: Dwelling Unit	
Dwelling, Accessory	P (N)	A dwelling unit, that is attached or detached from the primary on-site structure, is used as a	No Additional Parking Required	1

		residence, is incidental to the main structure, and is not involved in the conduct of a business.		
Dwelling, Single-Family Detached	P (N)	A building that contains only one (1) Dwelling Unit and has open space on all sides of the building.	2: Dwelling Unit	2
Institutional				
Library	C	A building for the viewing and check out of books, videos and other literature.	1:300 sq. ft.	
Parks and Recreational Facilities	P (N)	An area developed for active play and recreation that may include, but is not limited to, open space, sports courts, play equipment, trails, restrooms, and maintenance structures. The area may be owned by a public entity and used to provide recreational activities to the general public; or the area may be owned by a private, nonprofit, or homeowner's association and used to provide recreational activities to the members of the association.	1:100 sq. ft. of Indoor Facilities Plus 1:4 Persons Design Capacity of Outdoor Facilities (Including Both Participants and Spectators as Applicable)	
School, Private, Elementary, Middle, and High Schools	C	A school under the sponsorship of a private or religious organization, which provides elementary, middle, and/or secondary school curricula.	Elementary and Middle Schools: 1:20 Students High Schools: 1:4 Students	
School, Public, Elementary, Middle, and High Schools	P	A school organized by a governmental entity or granted a charter under Chapter 12 of the Texas Education Code, which provides elementary, middle, and/or secondary school curricula.	Elementary and Middle Schools: 1:20 Students High Schools: 1:4 Students	
Services				
Child Care Facility, Daycare	C	An establishment, other than a public or private school, providing care training, education, custody, treatment or supervision for seven (7) or more children for less than twenty-four (24) hours a day at a location other than the permit holder's home. A state license is required.	1:300 sq. ft.	
Place of Worship	C	A building or group of buildings used for regular assembly for religious public worship and study that is used primarily for and designed for such	With Fixed Seating: 1:3 Seats in the Main Assembly Area	3

		purpose such as a church, synagogue, mosque or similar, along with accessory activities that are customarily associated therewith, such as classrooms, gathering spaces, or a place of residence for clergy on the same platted lot, and that is tax exempt as defined by State law.	OR Without Fixed Seating: 1:75 sq. ft. in the Main Assembly Area	
Industrial				
Utilities	C	Buildings, maintenance yards, equipment yards, service facilities, shops, utility buildings and lines, etc. used for the transmission, storage or maintenance of utilities such as electric utilities, gas utilities, cable facilities, or other public utilities.	1:300 sq. ft. of Building or as Determined by the Director of Planning	

HR-1 District Supplemental Regulations

1. Dwelling, Accessory

a. A Single-Family Detached Dwelling located in the HR-1 zoning district may provide for an additional Dwelling Unit as accessory quarters located in the Principal Building or as part of a Detached garage, if:

- i. The accessory quarters does not contain more than 600 square feet of Living Space, and
- ii. The occupant or occupants do not pay compensation for the use of the accessory quarters.

2. Home Occupations

A Home Occupation is only permitted as an Accessory Use in a residential Dwelling Unit if it meets the following conditions:

- a. It is conducted wholly within the Principal Building;
- b. It is not conducted within a Private Garage, whether attached or Detached;
- c. It does not depend on the employment of a person who does not reside in the residence;
- d. A separate entrance is not provided for the conduct of the occupation;
- e. An alteration is not made in the Dwelling Unit that changes its character as a Dwelling Unit;
- f. It does not use outdoor storage;
- g. It does not involve more than 300 square feet of the area of the Dwelling Unit;
- h. A Sign Advertising the Home Occupation is not located on the Premises;
- i. It does not require the delivery or shipment of merchandise, goods, or equipment by other than passenger motor vehicles, ¾ ton step-up van or similar sized trucks;
- j. It does not create or cause any perceptible noise, odor, smoke, electrical interference or vibrations to emanate from the Premises; and
- k. It is conducted so that it does not create parking or traffic congestion or otherwise place an undue burden on the abutting or adjoining neighbors or the immediate neighborhood.

3. Place of Worship

All uses and buildings associated with and on the same campus as the Place of Worship, including assembly/gathering facilities, shall be included in the Conditional Use Permit.

Section 13. That Chapter 2, Article III of the Land Development Code is revised by amending Section 2-176 to read as follows:

Sec. 2-176. - Allowed Yard Obstructions.

Every part of a required Yard must be open and unobstructed from the general ground level of the graded Lot to the sky, except as indicated in the table below:

"Y" indicates a permitted or allowed obstruction. "N" indicates not a permitted or allowed obstruction.

Table 2-176.1: Allowed Yard Obstructions

	Obstruction	Front and Street Side Yard	Side and Rear Yard
1.	Living plant material, landscaping, fountains, sculptures, planter boxes, lighting fixtures, flagpoles, mailboxes, overhead service lines and poles for utilities, which are situated and constructed in compliance with all other ordinances.	Y	Y
2.	Awnings and canopies attached to a Principal Building and projecting not more than 3 ft. from the Building, and located at least 8 ft. above adjoining walkways and driveways.	Y	Y
3.	Air conditioning window or wall units not projecting more than 18 in.	Y	Y
4.	Sidewalks and driveways.	Y	Y
5.	Signs as permitted by the Sign regulations.	Y	N
6.	Fences, in compliance with this Code.	Y	Y
7.	Architectural entrance Structures on a Lot 1 acre or greater in area; or subdivision entrance signs at entrance roadways into subdivisions or planned developments containing 50 or more Lots.	Y	N
8.	Bay windows projecting not more than 3 ft., but not within 5 ft. of a Lot Line.	Y	Y
9.	Eaves, gutters, and attached chimneys, projecting not more than 24 in. into the Yard.	Y	Y
10.	Open entrances, stoops, and porches, when not covered, may project not more than 10 ft. from a Principal Building, and not more than 18 in. above grade. This type of obstruction may project no more than 5 feet from a Principal Building in the LPR District. This type of obstruction is not allowed in the HR-1 District.	Y	Y

11.	Sills, belt courses, cornices, and ornamental features of a Principal Building, projecting not more than 12 in.	Y	Y
12.	Steps, 4 ft. or less above grade, which are necessary for access to a permitted Building or for access to a Lot from a Street or public way.	Y	Y
13.	Mechanical equipment such as central air conditioning units, heat pumps solar collecting equipment, pool equipment, and backup generators.	N	Y
14.	Balconies not projecting more than 3½ feet into the Yard.	N	Y
15.	Open off-street Parking Spaces and Loading Spaces. <i>*See Table 2-216.1 and 2-216.2 for Parking Lot Setback Requirements.</i>	Y*	Y*
16.	Arbors, pergolas, patio covers, trellises, playgrounds and playhouses, and clotheslines.	N	Y
17.	Satellite dishes, as permitted by this Chapter.	N	Y
18.	Swimming pools not located within 3 ft. of a Lot Line. <i>*Swimming pools are not permitted in a Front Yard, but may be located in a Street Side Yard.</i>	N/Y*	Y
19.	Access ramps for the disabled.	N	Y
20.	Subdivision Entrance Signs.	Y	N

Section 14. That Chapter 2, Article IV of the Land Development Code is revised by amending Section 2-192 to read as follows:

Sec. 2-192. - Accessory Structures.

- A. Accessory Structures are subject to the same regulations as apply to Principal Buildings in each district, except as otherwise specified in this Section.
- B. An Accessory Structure must not be established on any Lot prior to the establishment of the Principal Building.
- C. An Accessory Structure must comply with Front and Street Side Yard setbacks.
- D. Accessory Structures must not be located within a parking lot setback as identified in Article V: Off Street Parking and Loading Regulations.

- E. In Nonresidential Districts, Accessory Structures must not be more than 20 feet in height as measured from finished grade to the highest point of the Structure.
- F. In Residential Districts, Accessory Structures must comply with the following additional regulations:
 - 1. An Accessory Structure must comply with Rear and Side Yard setbacks with the following exception.

An Accessory Structure may be located up to 5 feet from any Rear or Side Lot Line if the structure meets the following requirements:

- a. It has a maximum height of 1½ stories, but no more than 20 feet as measured from finished grade to the highest point of the Structure;
- b. It does not have a Rear Lot Line facing balcony or window above the first story;
- c. It is Detached and located at least 10 feet from the Principal Building; and
- d. It may be connected by a Breezeway to the Principal Building if the following requirements are met (See Figure 2-192.A):
 - (1) The Accessory Structure is located at least 10 feet from the Principal Building;
 - (2) The Breezeway is unenclosed; and
 - (3) The Breezeway is not wider than 6 feet as measured from edge-of-eave to edge-of-eave.

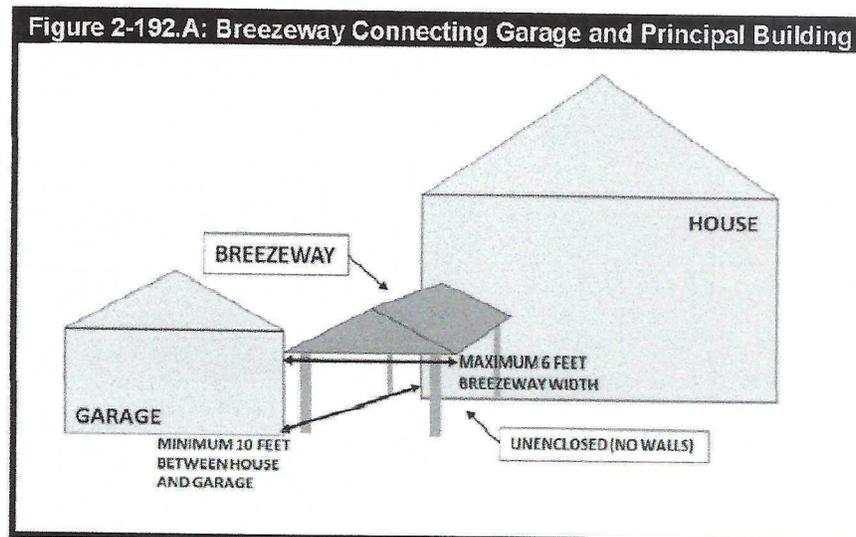


Figure 2-192.A

- 2. The total square footage of all Accessory Structures (except garages) located in a required Rear Yard shall not be larger than:

- a. R-1E district: 1,563 square feet or 25% of the required Rear Yard, whichever is greater
 - b. R-1R district: 563 square feet or 25% of the required Rear Yard, whichever is greater
 - c. R-1 district: 225 square feet or 25% of the required Rear Yard, whichever is greater
 - d. R-1Z district: 125 square feet or 25% of the required Rear Yard, whichever is greater
 - e. R-2 district: 500 square feet or 25% of the required Rear Yard, whichever is greater
 - f. R-3 & R-4 district: 25% of the required Rear Yard
3. *Sheds.* Lots 6,600 square feet or less may have a shed that is up to 200 square feet. Lots greater than 6,600 square feet may have a shed that does not exceed 3% of the lot area. If more than 1 shed is provided, this requirement applies to the total square feet of all sheds.
 4. *Private Garage or Carport.* Lots 6,000 square feet or less may have a Private Garage or Carport that is up to 600 square feet. Lots greater than 6,000 square feet may have a Private Garage or Carport that does not exceed 10% of the Lot area. If more than 1 garage is provided, this requirement applies to the total square feet of all garages.

The provisions of this Section 2-192 do not apply to The Hill Residential Zoning District (HR-1).

Section 15. That Chapter 2, Article XV of the Land Development Code is revised by amending Section 2-384 to read as follows:

Sec. 2-384. - Residential Front Yard Landscaping Requirements.

For all premises outside of the Lake Point Redevelopment District with Residential uses, not including multifamily uses, the premises must have 1 Shade Tree within the area between the Principal Building and front Property Line for each 50 feet of Lot Width or portion thereof, measured along the Front Lot Line. Trees may be clustered or spaced linearly and need not be placed evenly at 50 foot intervals.

Section 16. That Chapter 10, Section 10-3 (Definitions) of the Land Development Code is revised by amending the definition for "Accessory Building or Structure" to read as follows:

Accessory Building or Structure means a building or structure that serves a use customarily incidental to and located on the same lot occupied by the principal building. Common accessory buildings or structures include Private Garages and carports, farm structures, tool houses, greenhouses, home workshops, storage houses, and garden shelters.

Section 17. That Chapter 10, Section 10-3 (Definitions) of the Land Development Code is

revised by adding a definition for "Mew" to read as follows:

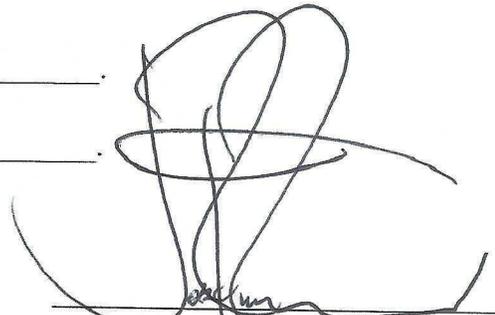
Mew means a designated public green space that Dwelling Units front on that provides pedestrian connectivity to Streets or Civic Spaces. Mews shall be owned and maintained by a homeowner's association or other perpetual entity.

Section 18. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

Section 19. That the provisions of this ordinance are severable and the invalidity of any part of this ordinance will not affect the validity of the remainder of the ordinance.

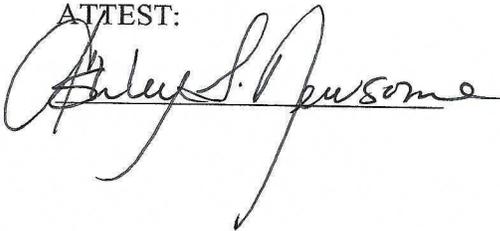
APPROVED on May 21, 2024.

ADOPTED on June 6, 2024.



Joe R. Zimmerman, Mayor

ATTEST:



APPROVED AS TO FORM:



Summary of Changes:

Chapter 2

Section 2-21

- 1) Corrected language for reconsideration of Conditional Use Permits (CUP)

Section 2-71

- 1) Updated definition of Multi-Family to align with new Lake Pointe Redevelopment District regulations.
- 2) Reduced the minimum parking requirement for Residential Sales/Construction Office (Temporary) to 2 parking spaces.

Section 2-91

- 1) Added Wine Bar as a permitted use in the B-1 and B-2 zoning districts.

Section 2-93

- 1) Removed references to ancillary uses, as they are not being utilized any more.

Section 2-118

- 1) Reduced the minimum interior side setback for duplexes and townhomes to 3 feet.
- 2) Added clarification that the front setback is only measured from the back of the Pedestrian Realm for lots fronting on a Street.

Section 2-119

- 1) Added a reference note to Table 2-119.1 to reduce the minimum Clear Zone width to 5 feet for Type 2 Streets that are adjacent to Middle Housing.
- 2) Added clarification that on-street parking may be permitted within the Pedestrian Enhancement Zone along Type 2 Streets.
- 3) Added clarification that private garages should be setback a minimum of 5 feet from an alley or private street, and any additional setback beyond 5 feet must be at least 18 feet.
- 4) Revised Figure 2-119.E to show 18-foot garage setback.

Section 2-122

- 1) Added clarification that buildings in Middle Housing Developments can be oriented so that the Primary Façade faces a Street, Civic Space, or Mew.

Section 2-123

- 1) Added Wine Bar as a permitted use.

Section 2-176

- 1) Allowed patio covers as Allowed Yard Obstructions.
- 2) Clarified that open entrances, stoops, and porches may not project more than 5 feet from a Principal Building in the Lake Pointe Redevelopment District.

Section 2-384

1. Clarified that the residential front yard landscaping requirements do not apply to the Lake Pointe Redevelopment District.

Chapter 10

Section 10-3

- 1) Added a definition for Mew.
- 2) Removed children's playhouse from Accessory Structure definition to align with Allowed Yard Obstruction chart.



City Council Agenda Request

JUNE 4, 2024

AGENDA REQUEST NO: IV.B.

AGENDA OF: City Council Meeting

INITIATED BY: *Jessica Echols, Planner II*

PRESENTED BY: *Jessica Echols, Planner II*

RESPONSIBLE DEPARTMENT: Planning & Development Services

AGENDA CAPTION:

SECOND CONSIDERATION: Consideration of and action on CITY OF SUGAR LAND ORDINANCE NO. 2339: AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, AMENDING CHAPTERS 2 AND 10 OF THE LAND DEVELOPMENT CODE TO STREAMLINE THE CODE, CLARIFY REGULATIONS FOR THE LAKE POINTE REDEVELOPMENT ZONING (LPR) DISTRICT, AND ADD A NEW PERMITTED LAND USE FOR STANDARD NONRESIDENTIAL ZONING DISTRICTS AND THE LPR DISTRICT.

RECOMMENDED ACTION:

Hold a Public Hearing followed by the first reading of Ordinance No. 2339.

EXECUTIVE SUMMARY:

This request is for a proposed amendment to Chapters 2 and 10 of the Land Development Code. This amendment provides clarification and further alignment with recent amendments to the Land Development Code and continues our effort to modernize and streamline the code. Additionally, this amendment provides clarification on regulations for Middle Housing Developments in the Lake Pointe Redevelopment District and includes the addition of a new land use in our standard nonresidential zoning districts and Lake Pointe Redevelopment District.

The attachments for this item include a summary of the proposed changes and redline and clean versions of the amended code sections. In December 2023, City Council approved the Lake Pointe Redevelopment District. For ease of review, the Lake Pointe Redevelopment District section is included as a separate attachment with a redline and clean version.

The Planning & Zoning Commission held a Public Hearing on April 25, 2024, at which no speakers were present. After the close of the public hearing, the Commission asked staff a few clarifying questions. The Commission then voted unanimously to Recommend Approval of the proposed Development Code Amendment to City Council.

This item is scheduled for a Public Hearing followed by the first reading of Ordinance No. 2339.

BUDGET

EXPENDITURE REQUIRED: N/A

CURRENT BUDGET: N/A

ADDITIONAL FUNDING: N/A

FUNDING SOURCE:N/A

ACCOUNT NUMBER (ORG-OBJ-PROJECT):

ATTACHMENTS:

	Description	Type
▣	Ordinance No. 2339	Ordinances
▣	Summary of Changes	Other Supporting Documents
▣	Standard Zoning Regulations - Redline	Other Supporting Documents
▣	Standard Zoning Regulations - Clean	Other Supporting Documents
▣	Lake Pointe Redevelopment District - Redline	Other Supporting Documents
▣	Lake Pointe Redevelopment District - Clean	Other Supporting Documents
▣	Public Hearing Notice	Other Supporting Documents